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GENERAL NOTES

1.0 GENERAL:

1.1 ALL WORK SHALL CONFORM TO THE CURRENT EDITIONS OF STATE BUILDING CODE AND LOCAL CODES, AND OTHER REGULATING AGENCIES WHICH HAVE AUTHORITY OVER ANY PORTIONS OF WORK. ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING GENERAL CONSTRUCTION, MECHANICAL, ELECTRICAL, PLUMBING OR RELATED WORK SHALL COMPLY WITH APPLICABLE SECTIONS OF THE CODES THAT HAVE JURISDICTION.

1.2 THE CONTRACTOR IS REQUIRED TO INSPECT THE SITE OF THE WORK AND TO EXAMINE AND BECOME FAMILIAR WITH THE FORM OF PROPOSAL, DRAWINGS AND ALL OTHER CONTRACT DOCUMENTS PERTAINING TO THE PROPOSED WORK. THE SUBMISSION OF A BID SHALL BE SUFFICIENT TO ESTABLISH THE PRESUMPTION THAT THE CONTRACTOR HAS INVESTIGATED THE SITE OF WORK AND IS SATISFIED AS TO ALL REASONABLE CONDITIONS TO BE ENCOUNTERED. QUALITY OF WORK TO BE PERFORMED AND MATERIALS FURNISHED IN THE COMPLETION THEREOF.

1.3 "THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION," A.I.A. DOCUMENT A201, (FIFTEENTH EDITION, 1997) AS PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS, IS HEREBY MADE A PART OF THESE DOCUMENTS TO THE SAME EXTENT AS IF BOUND IN THEIR ENTIRETY HEREIN. IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR OR HAVE CONTROL OR CHARGE OVER THE ACTS AND OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR OR ANY OF HIS AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

1.4 NO DEVIATION FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.

1.5 THE CONTENTS OF THESE GENERAL NOTES SHALL NOT DETRACT ANY REQUIREMENTS FROM THE DRAWINGS.

1.6 ANY CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PREVENTION DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. SHOULD THERE BE A DISCREPANCY BETWEEN THE ARCHITECTURAL AND ENGINEERING DRAWINGS, SUCH A DISCREPANCY IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS SOLE EXPENSE.

1.7 THE CONTRACTOR SHALL PAY FOR ALL PERMITS, LICENSE FEES, AND INSPECTION FEES REQUIRED BY LAW AS APPLICABLE TO THE WORK UNDER THIS CONTRACT.

1.8 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND COORDINATION WITH OTHER CONTRACTORS AND THEIR WORK TO ENSURE COMPLIANCE WITH THE CONTRACT DOCUMENTS. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT WITH OTHER CONTRACTORS AND SUBCONTRACTORS, AS WELL AS SHOP DRAWINGS AS REVIEWED BY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

1.9 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BY TAKING MEASUREMENTS AT BUILDING SITE AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. ANY DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT FOR ADJUSTMENT PRIOR TO ANY WORK BEING PERFORMED.

1.10 WHEN ± SYMBOL IS ADJACENT TO A GIVEN DIMENSION, IT INDICATES THAT THE ACTUAL DIMENSION MAY VARY DUE TO EXISTING CONDITIONS. VERIFY BEFORE PROCEEDING WITH THE WORK. DISCREPANCIES BETWEEN THE GIVEN AND ACTUAL DIMENSIONS ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.

1.11 DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS TO BE FOLLOWED.

1.12 THE CONTRACTOR SHALL CONSULT THE ARCHITECT FOR THOSE ITEMS NOT DETAILED IN THE DRAWINGS. SHOULD ANY CONFLICT OCCUR IN DIMENSIONS, ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

1.13 THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS, LABOR AND EQUIPMENT DESCRIBED OR IMPLIED HEREIN. THE CONTRACTOR SHALL VISIT THE SITE AND EXAMINE THE NATURE AND BEARING CAPACITY OF THE SOIL. THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY CONDITIONS NOT IN ACCORDANCE WITH THE SUBSOIL INVESTIGATION REPORT PROVIDED BY THE OWNER PRIOR TO THE EXECUTION OF THIS WORK.

1.14 ALL MATERIALS FURNISHED ON THE JOB SITE SHALL BE NEW AND STORED IN SUCH MANNER AS TO PROTECT THEM FROM THE ELEMENTS.

1.15 EXCEPT FOR LONGER PERIODS OF GUARANTEE AS MAY BE SPECIFIED, THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS COVERED BY THIS CONTRACT FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK.

1.16 ALL DEMOLISHED MATERIALS SHALL BE DISPOSED OF OFF-SITE AND NOT ALLOWED TO ACCUMULATE. PROTECT PATH OF TRAVEL OF RUBBISH DISPOSAL THROUGH THE BUILDING.

1.17 THE OWNER SHALL REMOVE ALL EQUIPMENT TO BE RETAINED BEFORE THE CONTRACTOR STARTS HIS WORK. THE CONTRACTOR SHALL REMOVE ALL ITEMS NOTED OR INDICATED ON THE DRAWINGS AND AS REQUESTED TO ACCOMMODATE THE NEW WORK. ITEMS NOTED FOR SALVAGE SHALL BE REMOVED AND STORED IN AREA DESIGNATED BY A REPRESENTATIVE OF THE OWNER.

1.18 TEMPORARY DUST BARRIERS SHALL BE PROVIDED SUFFICIENT TO MAINTAIN A DUST FREE ENVIRONMENT IN THE REMAINDER OF THE BUILDING. NEATLY STORE ALL USABLE SURPLUS OF PROJECT SPECIFIC FINISH MATERIALS IN AN AREA DESIGNATED BY THE OWNER.

1.19. ALL CONTRACTORS WORKING ON THE JOB ARE TO BE LICENSED AND INSURED.

2.0 SITE WORK:

2.1 THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK SHALL VERIFY THE LOCATION OF ALL UTILITIES AND DETERMINE THEIR CAPACITIES.

2.2 ALL FILL MATERIAL SHALL BE SAND, CLEAN AND FREE OF ORGANIC DEBRIS.

2.3 THE CONTRACTOR SHALL MAINTAIN THE JOB SITE CLEAN AND FREE OF ALL TRASH, DEBRIS AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, ETC.

3.0 CONCRETE: (REFER TO STRUCTURAL NOTES)

4.0 CONCRETE UNIT MASONRY:

4.1 LOAD BEARING CONCRETE UNIT MASONRY SHALL BE GRADE M-1, ASTM C90 NORMAL WEIGHT, 8"X8"X16" THICK 2-CELL STRETCHER TYPE WITH VERTICAL MORTAR KEYS AT EACH END.

4.2 REFER TO STRUCTURAL NOTES FOR ADDITIONAL NOTES.

5.0 REINFORCING STEEL & METAL FABRICATIONS:

5.1 REFER TO STRUCTURAL DRAWINGS FOR REINFORCEMENT ADDITIONAL INFORMATION.

6.0 ROUGH CARPENTRY:

6.1 ALL LUMBER MUST BE SOUND, WELL SEASONED, WELL MANUFACTURED AND FREE FROM WARP. WOODWORK EXPOSED TO VIEW MUST BE DRESSED.

6.2 STRUCTURAL LIGHT FRAMING 2" TO 4" THICK AND WIDE SHALL BE SELECTED STRUCTURAL OR DENSE SELECT STRUCTURAL, NO.1 DENSE, NO.2 DENSE OR NO.3 DENSE. COMPLY WITH AMERICAN SOFTWOOD LUMBER GRADING PRODUCT STANDARD PS 20-10 AND STANDARD GRADING RULES FOR SOUTHERN PINE SPIB, 1997.

6.3 ALL WOOD IN CONTACT WITH CONCRETE, MASONRY, STUCCO OR EXPOSED TO WEATHER SHALL BE PRESSURE TREATED: AWPA C-2, WATERBORNE: AWPB LP-2 ABOVE GRADE AND AWPB LP-22 AT GRADE OIL-BORNE: AWPB LP-4 ABOVE GRADE AND AWPB LP-44 AT GRADE. DO NOT USE CREOSOTE PRESERVATIVE, SUBMIT PRESSURE TREATMENT PROCESS AND MATERIALS DATA SHEET FOR APPROVAL.

6.4 PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR CABINETS, EQUIPMENT, LIGHT FIXTURES, ELECTRICAL UNITS, A/C EQUIPMENT AND ALL OTHER ITEMS REQUIRING SAME.

6.5 ALL FASTENERS SHALL BE HOT-DIP GALVANIZED TO ASTM A15.3 BOLTS, SCREWS, NUTS AND WASHERS; SQUARE, ROUND AND HEX HEAD TO ANSI B18 AND ASTM A307. WOOD SCREWS SLOTTED HEAD TO ANSI B18 AND ASTM A549 NAILS ASTM A510 AND F541.

7.0 FINISHES:

7.1 THE OWNER SHALL SELECT PAINT AND ANY OTHER FINISHES AS REQUIRED. CLEARANCES SHALL BE ALLOWED FOR THE INSTALLATION OF VARIOUS THICKNESS.

7.2 ALL PAINT SHALL BE ONE (1) COAT PRIMER AND TWO (2) COATS PAINT. THE ARCHITECT MAY REQUEST SAMPLE SURFACES COLORS AND FINISHES TO MATCH MODULAR BUILDING AS DIRECTED BY OWNER.

7.3 ALL PAINT OR STAIN FINISHES SHALL BE SMOOTH WITHOUT RUNS, SKIPS, SAGS, OR ANY OTHER DEFECTS.

7.4 ALL FINISHES SHALL BE INSTALLED AND/OR APPLIED AS PER MANUFACTURER'S SPECIFICATIONS AND AS PER GOOD TRADE PRACTICES.

8.0 DEMOLITION NOTES:

8.1 COORDINATE ALL DEMOLITION WORK SHOWN ON THESE DRAWINGS WITH ALL NEW WORK SHOWN ON ARCHITECTURAL, CIVIL, STRUCTURAL AND M.E.P. DRAWINGS.

8.2 CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING, REPAIR AND FINISH TO ANY/ALL MATERIALS/AREAS TO REMAIN WHICH MAY BECOME DAMAGED DURING DEMOLITION BY A DEMOLITION CONTRACTOR, AND ANY OTHER FORCES, CONTRACTED TO THE RESTORATION.

8.3 DEMOLITION CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN DEMOLITION OR REMOVING ITEMS IN BUILDING SO AS TO CAUSE THE LEAST AMOUNT OF PATCHWORK AND REPAIR.

8.4 EXISTING FINISHES AND OTHER MATERIALS TO REMAIN THAT ARE DAMAGED BY THE DEMOLITION CONTRACTOR DURING DEMOLITION AND REMOVAL PROCESS SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.

8.5 THE CONTRACTOR SHALL MAINTAIN THE WORK SITE CLEAN AND FREE OF ALL TRASH, DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, ETC.

8.6 ALL DEMOLISHED MATERIALS SHALL BE DISPOSED OF OFF-SITE AND NOT ALLOWED TO ACCUMULATE. PROTECT PATH OF TRAVEL OF RUBBISH DISPOSAL THROUGH THE BUILDING.

8.7 THE CONTRACTOR SHALL TAKE PRECAUTIONS DURING DEMOLITION TO AVOID REMOVING EXISTING STRUCTURAL COLUMNS AND BEAMS WHICH MAY BE CONCEALED AND WHICH ARE TO REMAIN.

8.8 CARE SHALL BE GIVEN TO THE PROTECTION OF EXISTING UTILITY LINES DURING EXCAVATION.

8.9 REMOVE WHERE MECHANICAL, ELECTRICAL AND PLUMBING WORK ARE REMOVED, ALL LINES, CONDUITS, DUCTS, ETC. SHALL BE CAPPED WITHIN THE WALLS, ABOVE FINISH LINE OR BELOW FINISH FLOOR LINE. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.

8.10 REMOVE AND DISCARD ALL DEBRIS FROM SITE WITHIN BOUNDARY OF WORK.

9.0 ASBESTOS NOTES:

BARTON ROSS & PARTNERS, LLC, IS NOT RESPONSIBLE FOR THE DETERMINATION OF ASBESTOS CONTAINING BUILDING MATERIALS (ACBM) OR FOR METHODS OF ITS REMOVAL. QUESTIONS OR COMMENTS REGARDING ASBESTOS SHOULD BE DIRECTED TO THE OWNER OR THEIR DESIGNATED REPRESENTATIVE.

10.0 LEAD-BASED PAINT NOTES:

BARTON ROSS & PARTNERS, LLC, IS NOT RESPONSIBLE FOR THE DETERMINATION OF LEAD-BASED PAINT OR FOR METHODS OF ITS REMOVAL. QUESTIONS OR COMMENTS REGARDING LEAD-BASE PAINT SHOULD BE DIRECTED TO THE OWNER OR THEIR DESIGNATED REPRESENTATIVE.

11.0 MOLD NOTES:

BARTON ROSS & PARTNERS, LLC, IS NOT RESPONSIBLE FOR THE DETERMINATION OF MOLD CONTAINING BUILDING MATERIALS (ACBM) OR FOR METHODS OF ITS REMOVAL. QUESTIONS OR COMMENTS REGARDING MOLD SHOULD BE DIRECTED TO THE OWNER OR THEIR DESIGNATED REPRESENTATIVE. ARCHITECT MAKES NO WARRANTIES OR GUARANTEES, ESPECIALLY AS THEY RELATE TO WATER INTRUSION, CONTAMINATION, CONSTRUCTION MEANS AND METHODS, INSPECTION OR MAINTENANCE. ARCHITECT IS NOT RESPONSIBLE IN THE FUTURE WITH RESPECT TO ANY MOLD ISSUES THAT MIGHT ARISE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO KEEP A "WATERTIGHT" ENVIRONMENT THROUGHOUT DEMOLITION AND CONSTRUCTION (TO OBLVIATE ANY POTENTIAL MOLD SOURCES).

12.0 RESTORATION NOTES:

12.1 ALL MATERIALS FURNISHED ON THE JOB SITE SHALL BE NEW AND STORED IN SUCH MANNER AS TO PROTECT THEM FROM THE ELEMENTS.

12.2 METAL PLATES, CONNECTORS, SCREWS, BOLTS, AND NAILS SHALL BE HOT DIPPED GALVANIZED AFTER THE FASTENER OR CONNECTOR HAS BEEN FABRICATED TO FORM A ZINC COATING NOT LESS THAN 1 OZ. PER SQ. FT., OR HOT DIPPED GALVANIZED WITH A MINIMUM COATING OF 1.8 OZ. PER SQ. FT. OF STEEL MEETING THE REQUIREMENTS OF ASTM A 90 TRIPLE SPOT TEST.

12.3 REMOVE ROOFING, FLASHING, PIPING, SUPPORTS AND FASTENERS. INSPECT ROOF DECK FOR STRUCTURAL DAMAGE AND ADVISE ARCHITECT AND STRUCTURAL ENGINEER IF DETERIORATED.

12.4 REMOVE ALL MOISTURE DAMAGED AND ROTTEN WOOD AND REPLACE UTILIZING SOUTHERN PINE WOOD MEMBERS TO MATCH EXISTING OR APPROVED EQUAL.

12.5 UPON COMPLETION OF THE PROJECT, COMPLETELY SPRAY ALL EXPOSED WOOD MEMBERS WITH "CABOT" WOODLIFE, MINIMUM 2 PASSES.

13.0 CODE NOTES:

13.1 ALL NEW CONSTRUCTION IS TO MEET OR EXCEED LOCAL BUILDING CODES, STATE BUILDING CODES, AND IBC LATEST EDITION. ALL NEW CONSTRUCTION IS TO BE PLUMB AND LEVEL, AND ALIGNED WITH THE EXISTING UNLESS NOTED OTHERWISE. ANY VARIATION SHOULD BE ADDRESSED WITH THE OWNER OR APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.

CODES REFERENCED (SOMERSET DEPARTMENT OF PLANNING & ZONING):  
EFFECTIVE MAY 29, 2023

LOCAL BUILDING CODES & ORDINANCES  
2021 INTERNATIONAL BUILDING CODE (IBC)  
2021 INTERNATIONAL RESIDENTIAL CODE (IRC)  
2021 IECC INTERNATIONAL ENERGY CONSERVATION CODE  
ANSI A117.1 - 2003  
2018 NFPA 1 FIRE CODE  
2018 LIFE SAFETY CODE - NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) REFERENCED STANDARDS  
2021 INTERNATIONAL PLUMBING CODE NATIONAL STANDARD PLUMBING CODE  
NFPA 70 NATIONAL ELECTRICAL CODE HANDBOOK 2017 - NATIONAL ELECTRIC CODE  
INTERNATIONAL ENERGY CONSERVATION CODE  
INTERNATIONAL MECHANICAL CODE - 2021  
INTERNATIONAL FUEL GAS CODE

Hearse House  
Historic Rehabilitation  
408 High Street, Chestertown, Kent County, MD 21620



DIMENSION NOTES

GENERAL CONTRACTOR SHALL:

1. TAKE ALL EXTERIOR DIMENSION STRINGS FROM ONE OR MORE OF THE FOLLOWING:  
A) EXTERIOR FACE OF FOUNDATION WALL.  
B) EXTERIOR FACE OF STUDS IN EXTERIOR WALL.  
C) CENTERLINE OF NOTED BUILDING ELEMENTS (TRIMMED OPENINGS, ROOF RIDGES, ETC.).

2. TAKE ALL INTERIOR DIMENSIONS STRINGS (INTERIOR PARTITIONS AND DOORS) FROM ONE OR MORE OF THE FOLLOWING:  
A) FINISH FACE OF GWB.  
B) CENTERLINE OF NOTED BUILDING ELEMENTS (CORRIDOR, CEILING RIDGE, DOOR OPENINGS, WALLS, ETC.)

3. ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THESE DOCUMENTS MUST BE VERIFIED AT THE SITE BY THE GENERAL CONTRACTOR AND/OR VENDORS PRIOR TO ORDERING ANY MATERIAL OR DOING ANY WORK. ANY DISCREPANCIES OR ERRORS IN THE DOCUMENTS MUST BE REPORTED TO THE ARCHITECT AT ONCE. NO CHANGE IN PLANS, DETAILS OR DIMENSIONS IS ALLOWABLE WITHOUT THE CONSENT OF THE ARCHITECT.

4. DO NOT SCALE DRAWINGS, U.N.O.

BUILDING NOTES

GENERAL CONTRACTOR SHALL:

1. SEE SHEETS GENERAL NOTES AND HISTORIC PRESERVATION NOTES FOR MORE DETAILED INFORMATION.

2. IN PREPARING EXISTING SURFACES FOR NEW PAINT, REPAIR ALL SURFACE IRREGULARITIES. ALL PROTRUSIONS ARE TO BE REMOVED AND ALL PITS, DENTS AND SCRATCHES ARE TO BE FILLED AND SANDED SMOOTH PRIOR TO PRIMING AND PAINTING. SAND ALL SEALED SURFACES TO REMOVE TOP COAT PRIOR TO PRIMING.

3. ALL FIXTURES, LIGHTING AND FINISH MATERIALS SHALL BE SELECTED BY THE OWNER AND SUPPLIED / INSTALLED BY THE CONTRACTOR.

4. NEATLY STORE ALL USABLE SURPLUS OF PROJECT SPECIFIC FINISH MATERIALS IN AN AREA DESIGNATED BY THE OWNER.

5. ENSURE THAT IN ACCORDANCE WITH IBC 2015, SECTION 806, ALL INTERIOR TRIM, INCLUDING WOOD TRIM AND EXPOSED PLYWOOD SURFACES, SHALL HAVE A MINIMUM CLASS C FLAME SPREAD AND SMOKE-DEVELOPED INDEX WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723. WHERE NECESSARY, CONTRACTOR SHALL TREAT, PRE-FINISH AND/OR PAINT WOOD SURFACES TO MEET A CLASS C RATING.

6. ALL CONTRACTORS WORKING ON THE JOB ARE TO BE LICENSED AND INSURED.

7. ALL NEW PARTITION WALLS AND ATTIC/ROOF INDICATED SHALL RECEIVE INSULATION AS FOLLOWS:  
2X6 STUD WALLS - R-21 MIN. ROOF - R-49 MIN. BETWEEN USE SPACES - SOUND INSULATION

8. ALL NEW INTERIOR WALLS SHALL BE 5/8" THICK GWB UNLESS NOTED OTHERWISE. FIRE RATED ASSEMBLIES SHALL BE TYPE "X" GWB U.N.O.

9. ALL INTERIOR WALLS AT DAMP LOCATIONS SHALL RECEIVE 5/8" CEMENTITIOUS BACKER BOARD PRIOR TO TILE INSTALLATION. ALL OTHER SURFACES SHALL RECEIVE 5/8" MOISTURE RESISTANT WALL BOARD ON WALLS AND CEILINGS.

10. ALL INTERIOR GWB SURFACES TO RECEIVE AT LEAST ONE COAT OF LATEX PRIMER AND TWO COATS OF LATEX PAINT, U.N.O. ASSUME INTERIOR WALL, CEILING AND TRIM MATERIALS MAY BE DIFFERENT COLORS IN EACH ROOM. PROVIDE PAINT SAMPLES TO OWNER BEFORE PURCHASE. THE SURFACE OF EACH MATERIAL TO RECEIVE PAINT SHALL BE PREPARED AS INDICATED BY THE MANUFACTURER.

11. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION PERMITS, JOB SITE SAFETY, AND SAFEGUARDING THE CONSTRUCTION SITE AND ITS MATERIALS.

12. THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING FOR ALL WALL MOUNTED ACCESSORIES. THE CONTRACTOR SHALL PROVIDE ALL ADA REQUIRED HARDWARE, SIGNAGE, AND ACCESSORIES. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED FIRE EXTINGUISHERS PER NFPA 10, LATEST EDITION.

13. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING, PROVIDING AND INSTALLING ALL REQUIRED PANIC HARDWARE, WHETHER INDICATED ON DRAWINGS OR NOT.

14. THE CONTRACTOR SHALL PROVIDE SOUND INSULATION AT ALL TOILET ROOMS, MECHANICAL ROOMS, PLUMBING WALLS, ETC. AS REQUIRED BY CODE.

15. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL FOUNDATION, FRAMING, MECHANICAL, ELECTRICAL, HVAC, FIRE SPRINKLER, LIGHTING, AND PLUMBING DRAWINGS, CALCULATIONS AND SPECIFICATIONS SHOWING THE PROPOSED WORK AS REQUIRED BY THE BUILDING DEPARTMENT. NO WORK SHALL BE PERFORMED UNTIL WRITTEN APPROVAL HAS BEEN GIVEN BY THE BUILDING DEPARTMENT.

16. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXISTENCE, LOCATION, DEPTH, SIZE, AND MATERIALS OF ALL CONSTRUCTION SITE UTILITIES WELL IN ADVANCE OF CONSTRUCTION. CONTRACTOR TO PROTECT EXISTING UTILITIES THROUGHOUT THE PROJECT DURATION. THE CONTRACTOR SHALL COORDINATE ALL UTILITIES ON SITE WITH THE APPROPRIATE PROVIDER.

DRAWING LIST

SHEET	DESCRIPTION	LATEST DATE	SHEET	DESCRIPTION	LATEST DATE
A0.00	COVER, SYMBOLS, GENERAL NOTES	JUNE 27, 2025			
A0.01	GENERAL NOTES	JUNE 27, 2025			
A0.02	HP NOTES	JUNE 27, 2025			
A0.03	DEMO PLANS	JUNE 27, 2025			
A0.04	DEMO PLANS	JUNE 27, 2025			
A1.01	FLOOR PLANS	JUNE 27, 2025			
A1.02	FLOOR PLANS	JUNE 27, 2025			
A2.01	FACADE ELEVATIONS	JUNE 27, 2025			
A3.00	DETAILS & SCHEDULES	JUNE 27, 2025			

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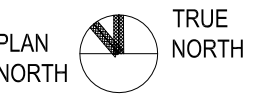
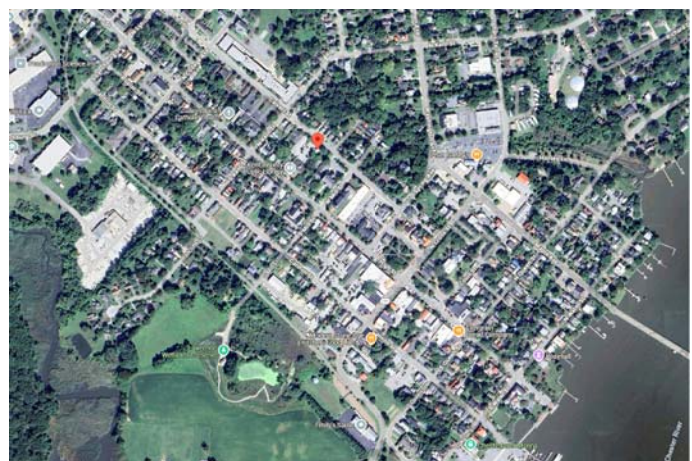
THE DRAWINGS, SPECIFICATIONS, AND OTHER DOCUMENTS PREPARED BY THE ARCHITECTS FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECTS SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT. THIS DRAWING IN PRINTED AND ELECTRONIC FORM MAY NOT BE USED, REPRODUCED, MODIFIED OR CHANGED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF BARTON ROSS & PARTNERS, LLC. ARCHITECTS. ANY USE, REPRODUCTION, MODIFICATION OR CHANGE WILL SUBJECT THE USER AND ITS AGENTS TO LIABILITY OF SUCH ACTS.

BY USE OF THESE DRAWINGS, OWNER AND CONTRACTOR ACKNOWLEDGE THAT THE DRAWINGS AND PROJECT MANUAL CONTENTS ARE CONSIDERED WITH THE SCOPE OF WORK PROVIDED FOR THIS PROJECT. THE OWNER AND CONTRACTOR CERTIFY THAT ANY AND ALL DEFECTS, ERRORS, INCONSIDERABLES OR OMISSIONS IN THE DRAWINGS OR SPECIFICATIONS OF WHICH IT IS AWARE, EITHER DIRECTLY OR BY NOTIFICATION FROM ANY SUBCONTRACTOR OR MATERIAL SUPPLIER HAVE BEEN NOTED AND BROUGHT TO THE ARCHITECTS' ATTENTION. OWNER AND CONTRACTOR ATTEST AND AFFIRM THAT NO CLAIM SHALL BE MADE AGAINST BARTON ROSS & PARTNERS, LLC ARCHITECTS BASED ON DEFECTIVE DESIGN DOCUMENTS OR AMBIGUITIES ATTRIBUTED TO THE REPRESENTATION OF THE SCOPE OF WORK DOCUMENTS/REVISED.

CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY ALL REQUIRED DIMENSIONS AND CONDITIONS AT THE JOBSITE AND NOTIFY THE ARCHITECT OF ANY KNOWN DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO BEGING OR COMMENCING CONSTRUCTION AND/OR FABRICATION OF ANY WORK. ALWAYS CONSULT THE ARCHITECT FOR DESIGN INTENT AND SUBMIT SHOP DRAWINGS FOR APPROVAL. VERIFY ALL EXISTING DIMENSIONS IN THE FIELD DO NOT SCALE THESE DRAWINGS.

ISSUES:		
-	06.27.2025	ISSUE FOR OWNER REVIEW
NO.	DATE	DESCRIPTION

LOCATION MAP (NTS) MAP 0203 GRID 0003 PARCEL 0869



PROJECT:

Hearse House  
Historic Rehabilitation

DRAWING TITLE:

COVER

SEAL & SIGNATURE	
	DATE: 02.11.2025 PROJECT NO.: 24-3404.01 SCALE: AS NOTED DWG. BY: MD CHK BY: BR DWG NO.: <b>A0.00.00</b>

PROFESSIONAL CERTIFICATION:  
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 17587, EXPIRATION DATE 01-06-2026.



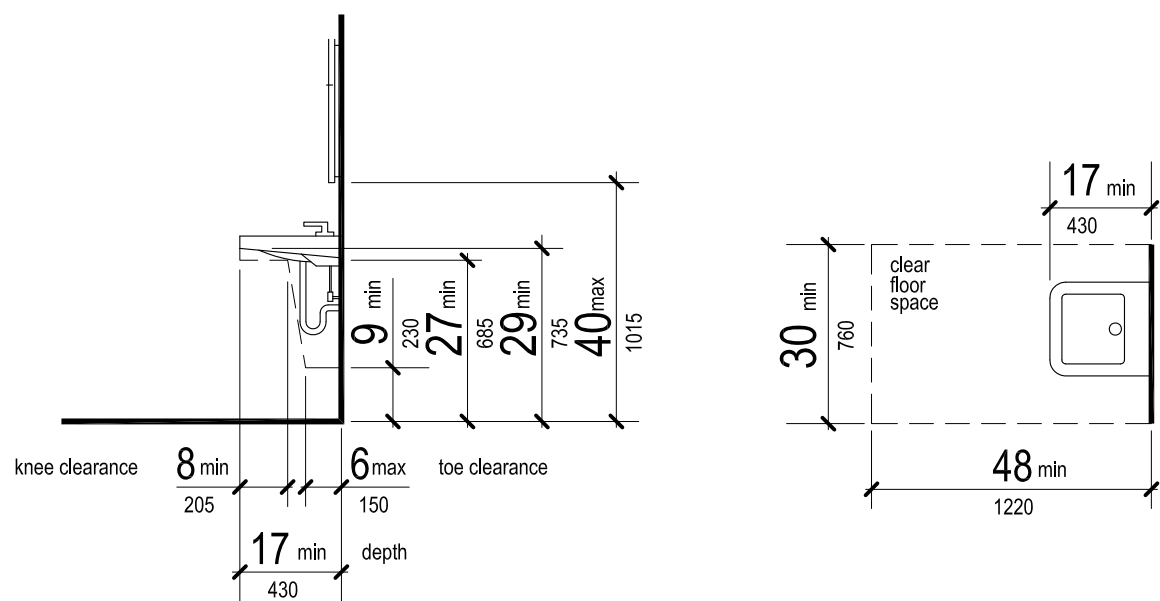
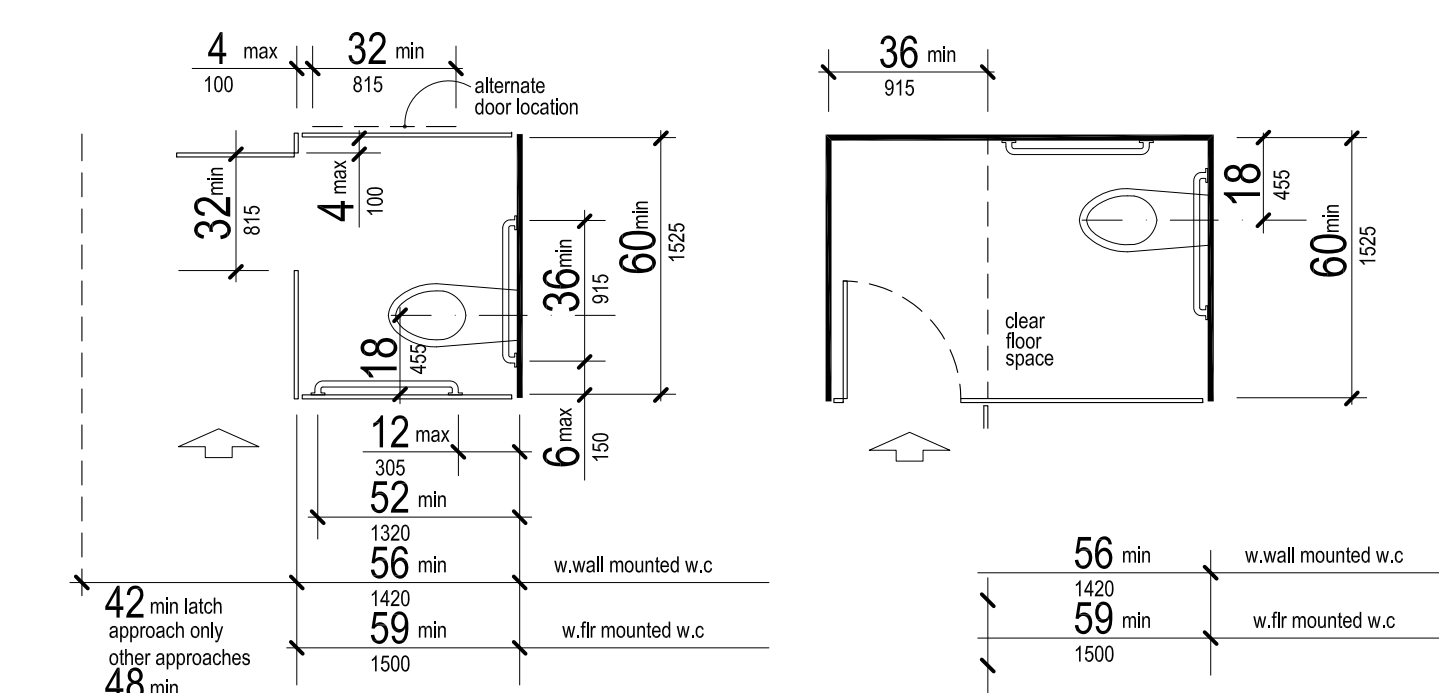


Fig 31  
Lavatory Clearances

Fig 32  
Clear Floor Space at Lavatories



(a) Standard Stall

(a.1) Standard Stall (end of row)

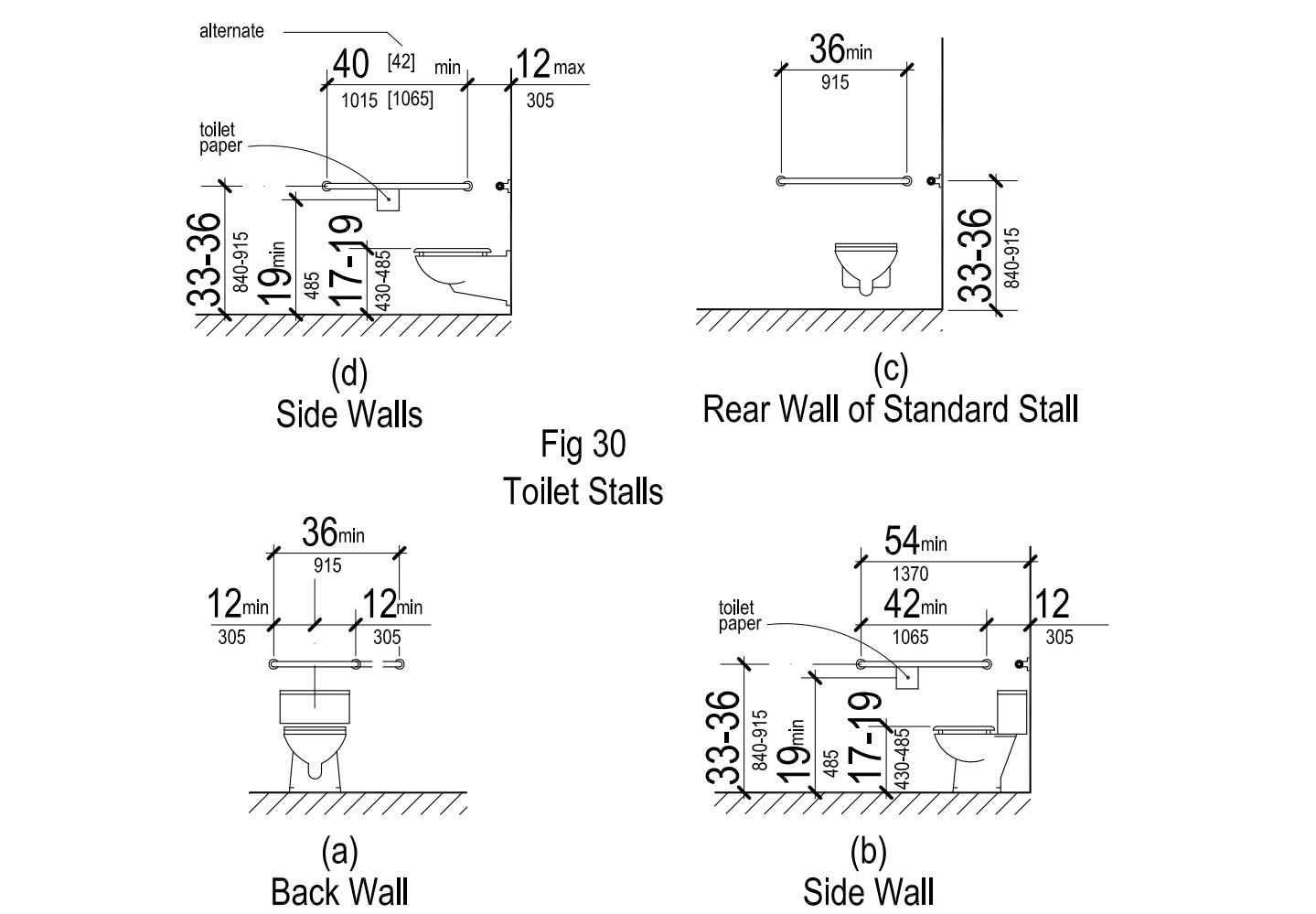


Fig 29  
Grab Bars at Water Closets

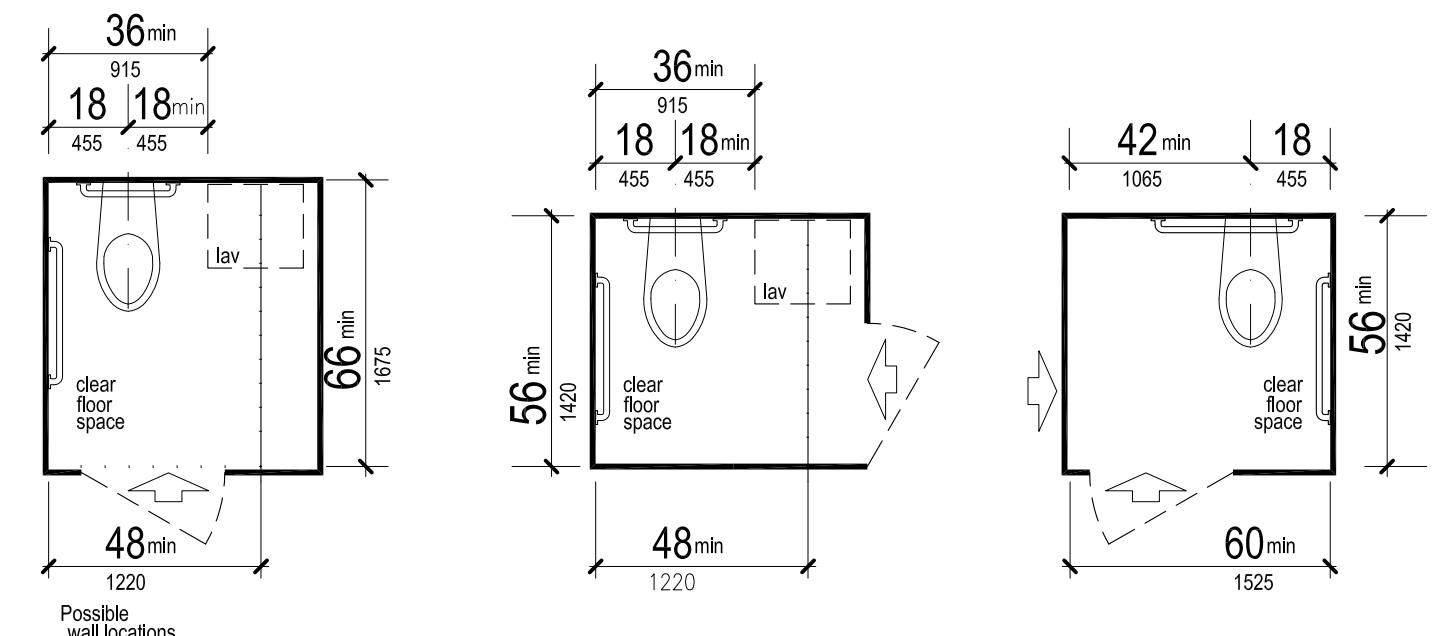


Fig 28  
Clear Floor Space at Water Closets

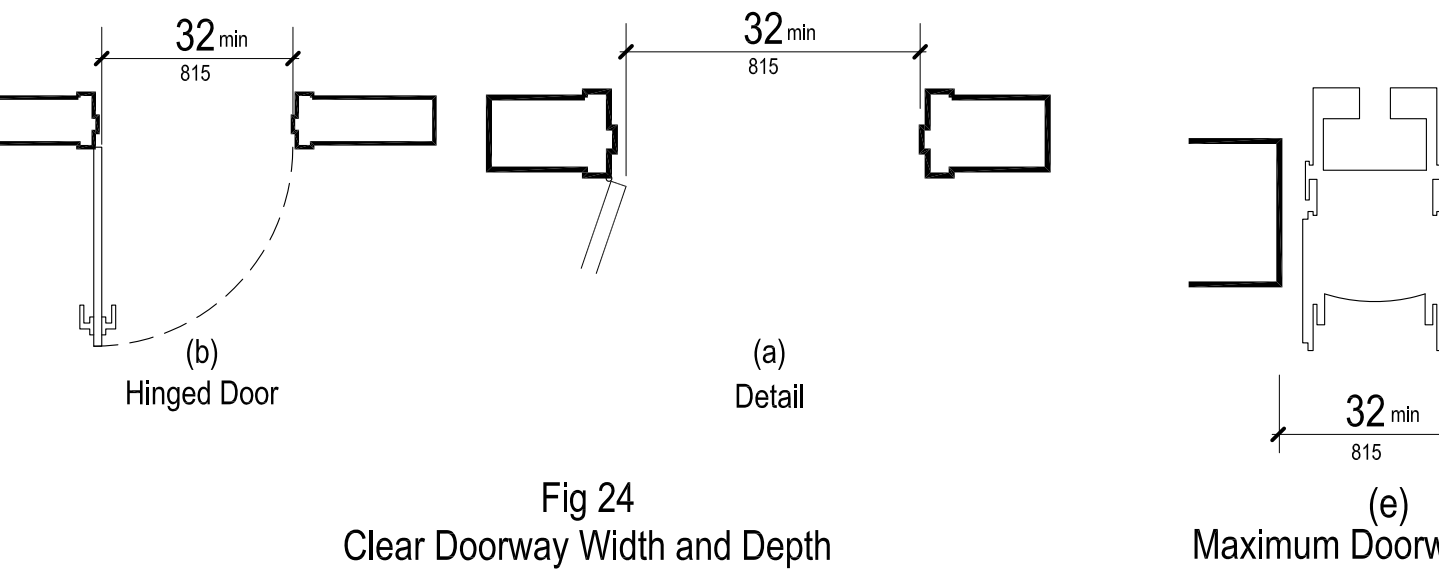
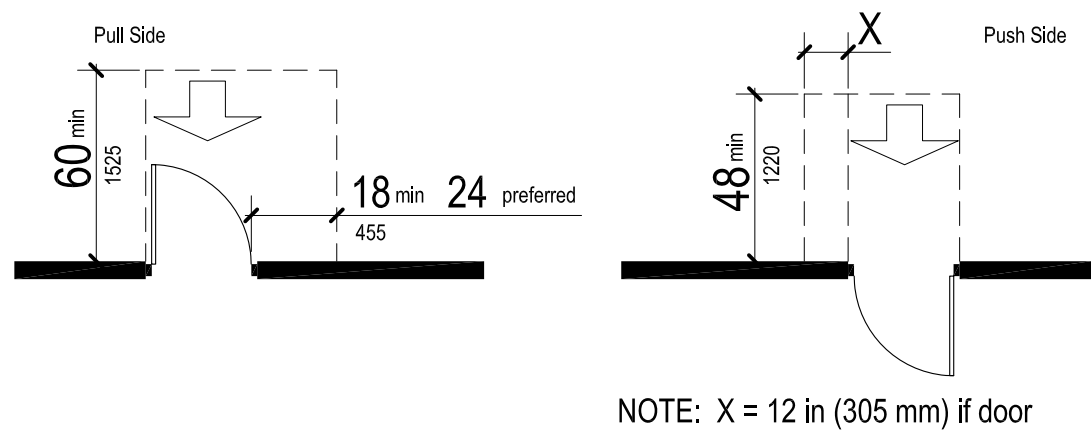
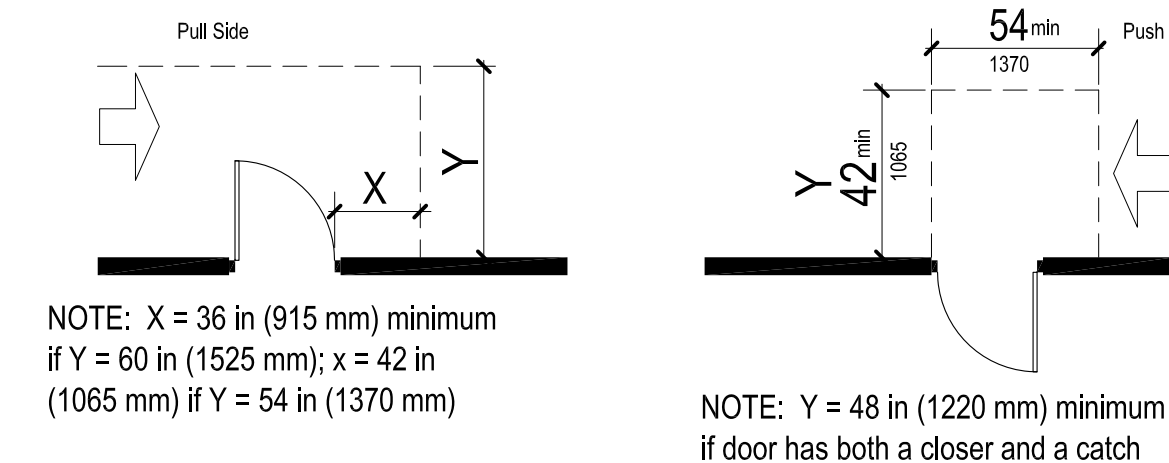


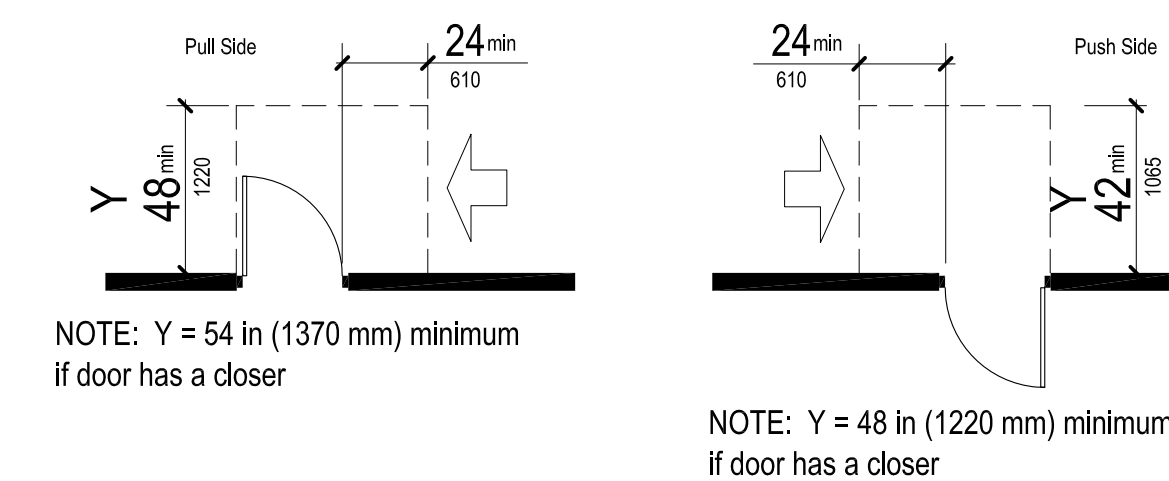
Fig 24  
Clear Doorway Width and Depth



(a) Front Approaches - Swinging Door



(b) Hinge Side Approaches - Swinging Door



(c) Latch Side Approaches - Swinging Door

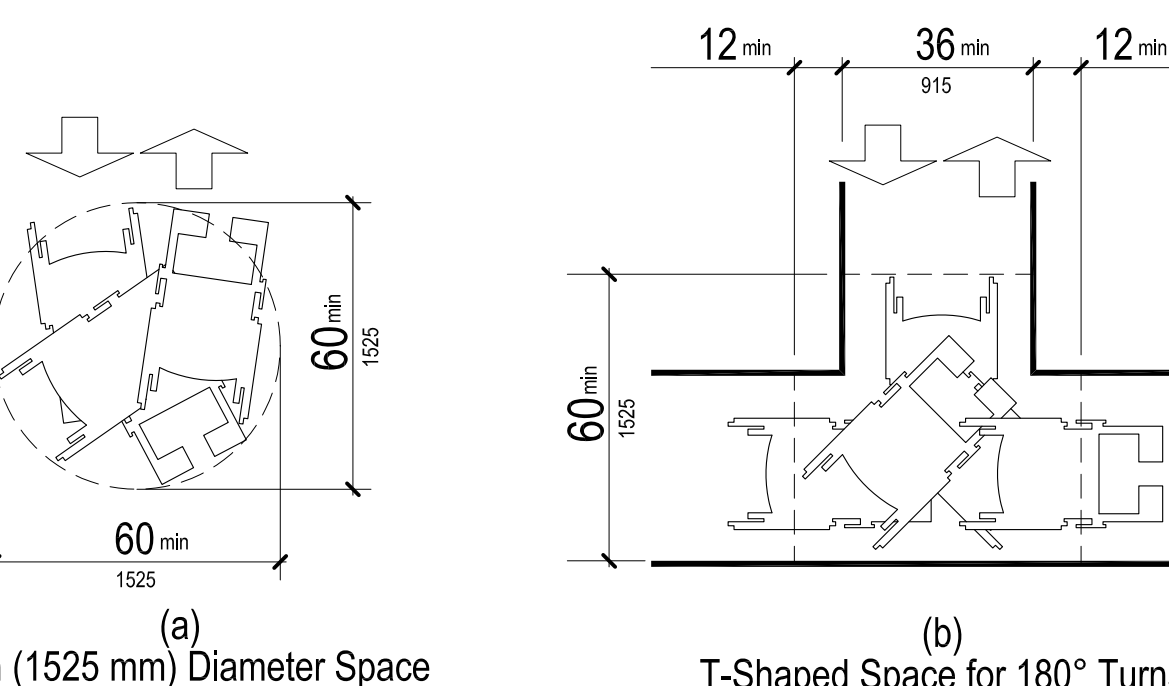


Fig 3  
Wheelchair Turning Space

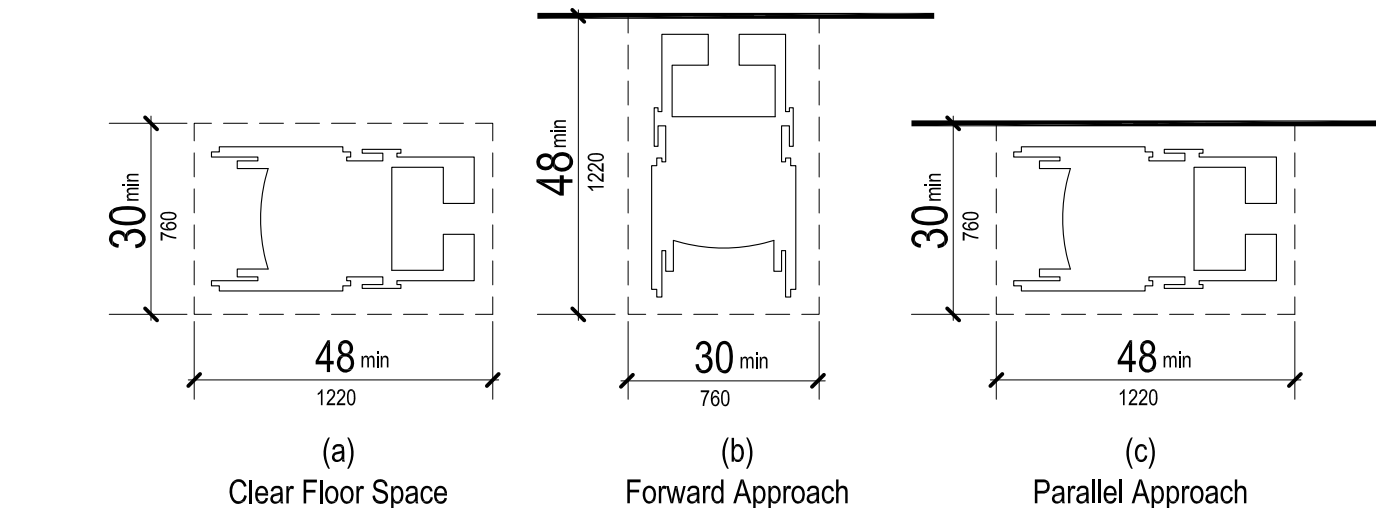


Fig 4  
Minimum Clear Floor Space for Wheelchairs

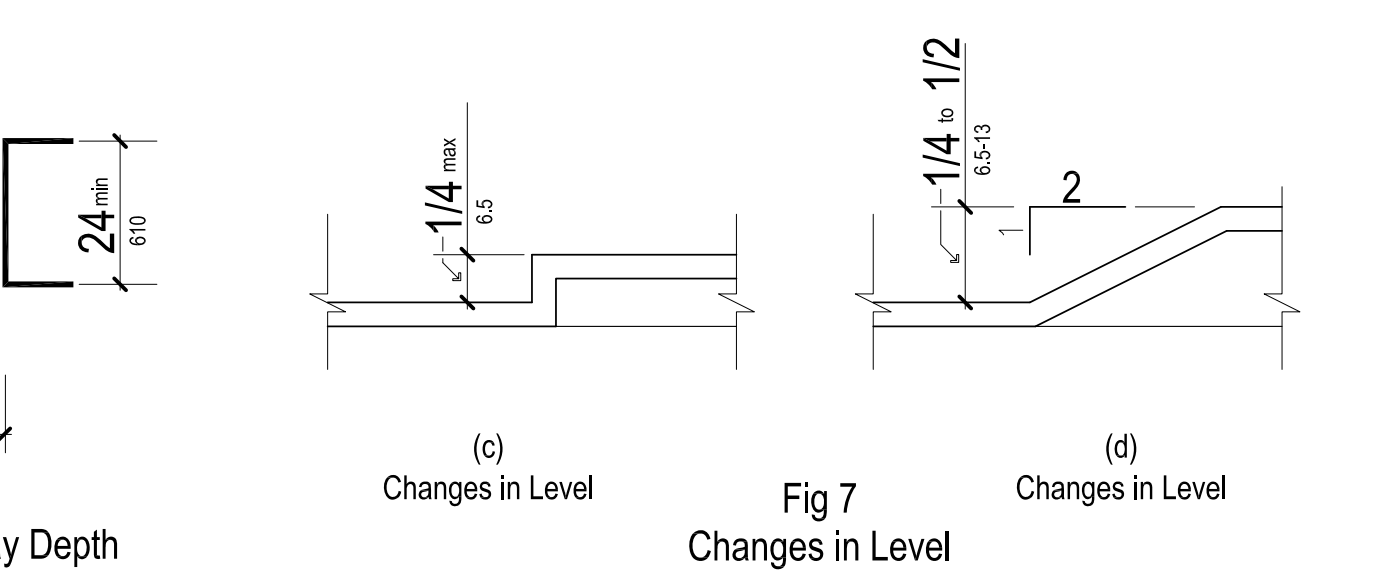


Fig 7  
Changes in Level

## SCOPE OF WORK:

THIS PROJECT CONSISTS OF INTERIOR AND EXTERIOR REHABILITATION AT THE HEARSE HOUSE, A HISTORIC FRAME BUILDING OWNED BY KENT COUNTY LOCATED IN CHESTERTOWN, MARYLAND AND LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES

SCOPE INCLUDES (AND IS NOT NECESSARILY LIMITED TO) THE FOLLOWING GENERAL DESCRIPTION OF WORK:

1. SELECTIVE INTERIOR DEMO
2. STRUCTURAL REINFORCEMENTS AS INDICATED
3. NEW WOOD FLOORING, WALL & CEILING FINISHES, INTERIOR DOORS, INTERIOR LIGHTING, EQUIPMENT, AND INTERIOR TRIM THROUGHOUT
4. NEW CUSTOM WOOD STORM WINDOWS AND ROLLER SHADES AS INDICATED ON THE DRAWINGS
5. NEW TOILET, HVAC REGISTERS, ELECTRICAL, AND ROOF REPAIRS AS INDICATED ON THE DRAWINGS
6. GENERAL CLEANUP, SEALING AND PAINTING OF ALL NEW SURFACES THROUGHOUT
7. SITE IMPROVEMENTS & LANDSCAPING (BY OTHERS)

## NOTES:

### 1.0 GENERAL:

1.1 ALL WORK SHALL CONFORM TO THE CURRENT EDITIONS OF STATE BUILDING CODE AND LOCAL CODES, AND OTHER REGULATING AGENCIES WHICH HAVE AUTHORITY OVER ANY PORTIONS OF WORK. ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING GENERAL CONSTRUCTION, MECHANICAL, ELECTRICAL, PLUMBING OR RELATED WORK SHALL COMPLY WITH APPLICABLE SECTIONS OF THE CODES THAT HAVE JURISDICTION.

1.2 THE CONTRACTOR IS REQUIRED TO INSPECT THE SITE OF THE WORK AND TO EXAMINE AND BECOME FAMILIAR WITH THE FORM OF PROPOSAL, DRAWINGS AND ALL OTHER CONTRACT DOCUMENTS PERTAINING TO THE PROPOSED WORK. THE SUBMISSION OF A BID SHALL BE SUFFICIENT TO ESTABLISH THE PRESUMPTION THAT THE CONTRACTOR HAS INVESTIGATED THE SITE OF WORK AND IS SATISFIED AS TO ALL REASONABLE CONDITIONS TO BE ENCOUNTERED, QUALITY OF WORK TO BE PERFORMED AND MATERIALS FURNISHED IN THE COMPLETION THEREOF.

1.3 "THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION," A.I.A. DOCUMENT A201, (FIFTEENTH EDITION, 1997) AS PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS, IS HEREBY MADE A PART OF THESE DOCUMENTS TO THE SAME EXTENT AS IF BOUND IN THEIR ENTIRETY HEREIN. IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR OR HAVE CONTROL OR CHARGE OVER THE ACTS AND OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR OR ANY OF THE AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

1.4 NO DEVIATION FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.

1.5 THE CONTENTS OF THESE GENERAL NOTES SHALL NOT DETRACT ANY REQUIREMENTS FROM THE DRAWINGS.

1.6 ANY CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PREVENTION DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. SHOULD THERE BE A DISCREPANCY BETWEEN THE ARCHITECTURAL AND ENGINEERING DRAWINGS, SUCH A DISCREPANCY IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS SOLE EXPENSE.

1.7 THE CONTRACTOR SHALL PAY FOR ALL PERMITS, LICENSE FEES, AND INSPECTION FEES REQUIRED BY LAW AS APPLICABLE TO THE WORK UNDER THIS CONTRACT.

1.8 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND COORDINATION WITH OTHER CONTRACTORS AND THEIR WORK TO ENSURE COMPLIANCE WITH THE CONTRACT DOCUMENTS. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT WITH OTHER CONTRACTORS AND SUBCONTRACTORS, AS WELL AS SHOP DRAWINGS AS REVIEWED BY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

1.9 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BY TAKING MEASUREMENTS AT BUILDING SITE AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. ANY DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT FOR ADJUSTMENT PRIOR TO ANY WORK BEING PERFORMED.

1.10 WHEN ± SYMBOL IS ADJACENT TO A GIVEN DIMENSION, IT INDICATES THAT THE ACTUAL DIMENSION MAY VARY DUE TO EXISTING CONDITIONS; VERIFY BEFORE PROCEEDING WITH THE WORK. DISCREPANCIES BETWEEN THE GIVEN AND ACTUAL DIMENSIONS ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.

1.11 DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS TO BE FOLLOWED.

1.12 THE CONTRACTOR SHALL CONSULT THE ARCHITECT FOR THOSE ITEMS NOT DETAILED IN THE DRAWINGS. SHOULD ANY CONFLICT OCCUR IN DIMENSIONS, ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

1.13 THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS, LABOR AND EQUIPMENT DESCRIBED OR IMPLIED HEREIN. THE CONTRACTOR SHALL VISIT THE SITE AND EXAMINE THE NATURE AND BEARING CAPACITY OF THE SOIL. THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY CONDITIONS NOT IN ACCORDANCE WITH THE SUBSOIL INVESTIGATION REPORT PROVIDED BY THE OWNER PRIOR TO THE EXECUTION OF THIS WORK.

1.14 ALL MATERIALS FURNISHED ON THE JOB SITE SHALL BE NEW AND STORED IN SUCH MANNER AS TO PROTECT THEM FROM THE ELEMENTS.

1.15 EXCEPT FOR LONGER PERIODS OF GUARANTEE AS MAY BE SPECIFIED, THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS COVERED BY THIS CONTRACT FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK.

1.16 ALL DEMOLISHED MATERIALS SHALL BE DISPOSED OF OFF-SITE AND NOT ALLOWED TO ACCUMULATE. PROTECT PATH OF TRAVEL OF RUBBISH DISPOSAL THROUGH THE BUILDING.

1.17 THE OWNER SHALL REMOVE ALL EQUIPMENT TO BE RETAINED BEFORE THE CONTRACTOR STARTS HIS WORK. THE CONTRACTOR SHALL REMOVE ALL ITEMS NOTED OR INDICATED ON THE DRAWINGS AND AS REQUESTED TO ACCOMMODATE THE NEW WORK. SALVAGE SHALL BE REMOVED AND STORED IN AREA DESIGNATED BY A REPRESENTATIVE OF THE OWNER.

1.18 TEMPORARY DUST BARRIERS SHALL BE PROVIDED SUFFICIENT TO MAINTAIN A DUST FREE ENVIRONMENT IN THE REMAINDER OF THE BUILDING. NEATLY STORE ALL USABLE SURPLUS OF PROJECT SPECIFIC FINISH MATERIALS IN AN AREA DESIGNATED BY THE OWNER.

1.19. ALL CONTRACTORS WORKING ON THE JOB ARE TO BE LICENSED AND INSURED.

### 2.0 SITE WORK:

2.1 THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK SHALL VERIFY THE LOCATION OF ALL UTILITIES AND DETERMINE THEIR CAPACITIES.

2.2 ALL FILL MATERIAL SHALL BE SAND, CLEAN AND FREE OF ORGANIC DEBRIS.

2.3 THE CONTRACTOR SHALL MAINTAIN THE JOB SITE CLEAN AND FREE OF ALL TRASH, DEBRIS AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, ETC.

3.0 CONCRETE: (REFER TO STRUCTURAL NOTES)

4.0 CONCRETE UNIT MASONRY:

4.1 LOAD BEARING CONCRETE UNIT MASONRY SHALL BE GRADE N-1, ASTM C90 NORMAL WEIGHT, 8"X8"X16" THICK 2-CELL STRETCHER TYPE WITH VERTICAL MORTAR KEYS AT EACH END.

4.2 REFER TO STRUCTURAL NOTES FOR ADDITIONAL NOTES.

5.0 REINFORCING STEEL & METAL FABRICATIONS:

5.1 REFER TO STRUCTURAL DRAWINGS FOR REINFORCEMENT ADDITIONAL INFORMATION.

6.0 ROUGH CARPENTRY:

6.1 ALL LUMBER MUST BE SOUND, WELL SEASONED, WELL MANUFACTURED AND FREE FROM WARP. WOODWORK EXPOSED TO VIEW MUST BE DRESSED.

6.2 STRUCTURAL LIGHT FRAMING 2" TO 4" THICK AND WIDE SHALL BE SELECTED STRUCTURAL OR DENSE SELECT STRUCTURAL, NO.1 DENSE, NO.2 DENSE OR NO.3 DENSE. COMPLY WITH AMERICAN SOFTWOOD LUMBER GRADING PRODUCT STANDARD PS 20-10 AND STANDARD GRADING RULES FOR SOUTHERN PINE SP1B, 1997.

6.3 ALL WOOD IN CONTACT WITH CONCRETE, MASONRY, STUCCO OR EXPOSED TO WEATHER SHALL BE PRESURE TREATED; AWPA C-2, WATERBORNE; AWPA LP-2 ABOVE GRADE AND AWPA LP-22 AT GRADE. OIL-BORNE; AWPA LP-4 ABOVE GRADE AND AWPA LP-44 AT GRADE. DO NOT USE CREOSOTE PRESERVATIVE. SUBMIT PRESSURE TREATMENT PROCESS AND MATERIALS DATA SHEET FOR APPROVAL.

6.4 PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR CABINETS, EQUIPMENT, LIGHT FIXTURES, ELECTRICAL UNITS, A/C EQUIPMENT AND ALL OTHER ITEMS REQUIRING SAME.

6.5 ALL FASTENERS SHALL BE HOT-DIP GALVANIZED TO ASTM A153 BOLTS, SCREWS, NUTS AND WASHERS; SQUARE, ROUND AND HEX HEAD TO ANSI B18 AND ASTM A307. WOOD SCREWS SLOTTED HEAD TO ANSI B18 AND ASTM A549 NAILS ASTM A10 AND F541.

7.0 FINISHES:

7.1 THE OWNER SHALL SELECT PAINT AND ANY OTHER FINISHES AS REQUIRED. CLEARANCES SHALL BE ALLOWED FOR THE INSTALLATION OF VARIOUS THICKNESS.

7.2 ALL PAINT SHALL BE ONE (1) COAT PRIMER AND TWO (2) COATS PAINT. THE ARCHITECT MAY REQUEST SAMPLE SURFACES COLORS AND FINISHES TO MATCH MODULAR BUILDING AS DIRECTED BY OWNER.

7.3 ALL PAINT OR STAIN FINISHES SHALL BE SMOOTH WITHOUT RUNS, SKIPS, SAGS, OR ANY OTHER DEFECTS.

7.4 ALL FINISHES SHALL BE INSTALLED AND/OR APPLIED AS PER MANUFACTURER'S SPECIFICATIONS AND AS PER GOOD TRADE PRACTICES.

8.0 DEMOLITION NOTES:

8.1 COORDINATE ALL DEMOLITION WORK SHOWN ON THESE DRAWINGS WITH ALL NEW WORK SHOWN ON ARCHITECTURAL, CIVIL, STRUCTURAL AND M.E.P. DRAWINGS.

8.2 CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING, REPAIR AND FINISH TO ANY/ALL MATERIALS/AREAS TO REMAIN WHICH MAY BECOME DAMAGED DURING DEMOLITION BY A DEMOLITION CONTRACTOR, AND ANY OTHER FORCES, CONTRACTED TO THE RESTORATION.

8.3 DEMOLITION CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN DEMOLITION OR REMOVING ITEMS IN BUILDING SO AS TO CAUSE THE LEAST AMOUNT OF PATCHWORK AND REPAIR.

8.4 EXISTING FINISHES AND OTHER MATERIALS TO REMAIN THAT ARE DAMAGED BY THE DEMOLITION CONTRACTOR DURING DEMOLITION AND REMOVAL PROCESS SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.

8.5 THE CONTRACTOR SHALL MAINTAIN THE WORK SITE CLEAN AND FREE OF ALL TRASH, DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, ETC.

8.6 ALL DEMOLISHED MATERIALS SHALL BE DISPOSED OF OFF-SITE AND NOT ALLOWED TO ACCUMULATE. PROTECT PATH OF TRAVEL OF RUBBISH DISPOSAL THROUGH THE BUILDING.

8.7 THE CONTRACTOR SHALL TAKE PRECAUTIONS DURING DEMOLITION TO AVOID REMOVING EXISTING STRUCTURAL COLUMNS AND BEAMS WHICH MAY BE CONCEALED AND WHICH ARE TO REMAIN.

8.8 CARE SHALL BE GIVEN TO THE PROTECTION OF EXISTING UTILITY LINES DURING DEMOLITION.

8.9 REMOVE WHERE MECHANICAL, ELECTRICAL AND PLUMBING WORK ARE REMOVED, ALL LINES, CONDUITS, DUCTS, ETC. SHALL BE CAPPED WITHIN THE WALLS, ABOVE FINISH CEILING OR BELOW FINISH FLOOR LINE. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.

8.10 REMOVE AND DISCARD ALL DEBRIS FROM SITE WITHIN BOUNDARY OF WORK.

### 9.0 ASBESTOS NOTES:

BARTON ROSS & PARTNERS, LLC, IS NOT RESPONSIBLE FOR THE DETERMINATION OF ASBESTOS CONTAINING BUILDING MATERIALS (ACBM) OR FOR METHODS OF ITS REMOVAL. QUESTIONS OR COMMENTS REGARDING ASBESTOS SHOULD BE DIRECTED TO THE OWNER OR THEIR DESIGNATED REPRESENTATIVE.

### 10.0 LEAD-BASED PAINT NOTES:

BARTON ROSS & PARTNERS, LLC, IS NOT RESPONSIBLE FOR THE DETERMINATION OF LEAD-BASED PAINT OR FOR METHODS OF ITS REMOVAL. QUESTIONS OR COMMENTS REGARDING LEAD-BASE PAINT SHOULD BE DIRECTED TO THE OWNER OR THEIR DESIGNATED REPRESENTATIVE.

### 11.0 MOLD NOTES:

BARTON ROSS & PARTNERS, LLC, IS NOT RESPONSIBLE FOR THE DETERMINATION OF MOLD CONTAINING BUILDING MATERIALS (ACBM) OR FOR METHODS OF ITS REMOVAL. QUESTIONS OR COMMENTS REGARDING MOLD SHOULD BE DIRECTED TO THE OWNER OR THEIR DESIGNATED REPRESENTATIVE. ARCHITECT MAKES NO WARRANTIES OR GUARANTEES, ESPECIALLY AS THEY RELATE TO WATER INTRUSION, CONTAMINATION, CONSTRUCTION MEANS AND METHODS, INSPECTION OR MAINTENANCE. ARCHITECT IS NOT RESPONSIBLE IN THE FUTURE WITH RESPECT TO ANY MOLD ISSUES THAT MIGHT ARISE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO KEEP A "WATERTIGHT" ENVIRONMENT THROUGHOUT DEMOLITION AND CONSTRUCTION (TO OVIATE ANY POTENTIAL MOLD REMOVAL).

### 12.0 RESTORATION NOTES:

12.1 ALL MATERIALS FURNISHED ON THE JOB SITE SHALL BE NEW AND STORED IN SUCH MANNER AS TO PROTECT THEM FROM THE ELEMENTS.

12.2 METAL PLATES, CONNECTORS, SCREWS, BOLTS, AND NAILS SHALL BE HOT DIPPED GALVANIZED AFTER THE FASTENER OR CONNECTOR HAS BEEN FABRICATED TO FORM A ZINC COATING NOT LESS THAN 1 OZ. PER SQ. FT., OR HOT DIPPED GALVANIZED WITH A MINIMUM COATING OF 1.8 OZ. PER SQ. FT., OF STEEL MEETING THE REQUIREMENTS OF ASTM A 90 TRIPLE SPOT TEST.

12.3 REMOVE ROOFING, FLASHING, PIPING, SUPPORTS AND FASTENERS. INSPECT ROOF DECK FOR STRUCTURAL DAMAGE AND ADVISE ARCHITECT AND STRUCTURAL ENGINEER IF DETERIORATED.

12.4 REMOVE ALL MOISTURE DAMAGED AND ROTTEN WOOD AND REPLACE UTILIZING SOUTHERN PINE WOOD MEMBERS TO MATCH EXISTING OR APPROVED EQUAL.

12.5 UPON COMPLETION OF THE PROJECT, COMPLETELY SPRAY ALL EXPOSED WOOD MEMBERS WITH "CABOT" WOODLIFE, MINIMUM 2 PASSES.

### 13.0 CODE NOTES:

13.1 ALL NEW CONSTRUCTION IS TO MEET OR EXCEED LOCAL BUILDING CODES, STATE BUILDING CODES, AND IBC LATEST EDITION. ALL NEW CONSTRUCTION IS TO BE PLUMB AND LEVEL, AND ALIGNED WITH THE EXISTING UNLESS NOTED OTHERWISE. ANY VARIATION SHOULD BE ADDRESSED WITH THE OWNER OR APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.

CODES REFERENCED (KENT COUNTY DEPARTMENT OF PLANNING & ZONING); EFFECTIVE MAY 29, 2023

LOCAL BUILDING CODES & ORDINANCES  
2021 INTERNATIONAL BUILDING CODE (IBC)  
2021 INTERNATIONAL RESIDENTIAL CODE (IRC)  
2021 IECC INTERNATIONAL ENERGY CONSERVATION CODE  
ANSI A117.1 - 2003  
2018 NFPA 1 FIRE CODE  
2018 LIFE SAFETY CODE - NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)  
REFERENCED STANDARDS  
2021 INTERNATIONAL PLUMBING CODE NATIONAL STANDARD PLUMBING CODE  
NFPA 70 NATIONAL ELECTRICAL CODE HANDBOOK 2017 - NATIONAL ELECTRIC CODE  
INTERNATIONAL ENERGY CONSERVATION CODE  
INTERNATIONAL MECHANICAL CODE - 2021  
INTERNATIONAL FUEL GAS CODE

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## Hearse House

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Chestertown, Kent County, Maryland 21620

ATTN: Chris Walmsley  
Kent County Public Library  
Director of Office Administration  
207 Calvert Street  
Chestertown, Kent County, MD 21620  
T: (410) 778-3636 Ext. 2110 or admin@kentlib.org

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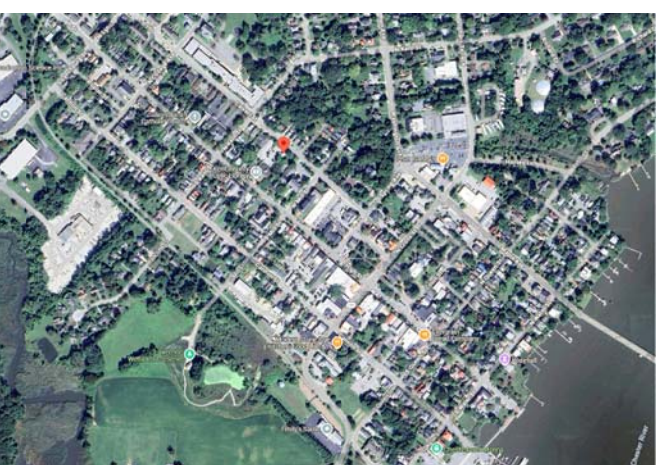
THE DRAWINGS, SPECIFICATIONS, AND OTHER DOCUMENTS PREPARED BY THE ARCHITECTS FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECTS SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT. THIS DRAWING, IN PRINTED AND ELECTRONIC FORM, MAY NOT BE USED, COPIED, REPRODUCED, OR CHANGED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF BARTON ROSS & PARTNERS, LLC. ARCHITECTS. ANY USE, DISSEMINATION, MODIFICATION OR CHANGE WILL SUBJECT THE USER AND ITS AGENTS TO LIABILITY OF SUCH ACTS.

BY USE OF THESE DRAWINGS, OWNER AND CONTRACTOR ACKNOWLEDGE THAT THE DRAWINGS AND PROJECT MANUAL, CONTENTS ARE CONSIDERED WITH THE SCOPE OF WORK PROVIDED FOR THIS PROJECT. THE OWNER AND CONTRACTOR CERTIFY THAT ANY AND ALL DEFECTS, ERRORS, INCONSIDERATIONS OR OMISSIONS IN THE DRAWINGS OR SPECIFICATIONS OF WHICH IT IS ADVISED EITHER DIRECTLY OR BY NOTIFICATION FROM ANY SUBCONTRACTOR OR MATERIAL SUPPLIER HAVE BEEN NOTED AND BROUGHT TO THE ARCHITECTS ATTENTION. OWNER AND CONTRACTOR HEREBY AGREE AND AFFIRM THAT NO CLAIM SHALL BE MADE AGAINST BARTON ROSS & PARTNERS, LLC ARCHITECTS BASED ON DEFECTIVE DESIGN DOCUMENTS OR AMBIGUITIES ATTRIBUTED TO THE REPRESENTATION OF THE SCOPE OF WORK DOCUMENTED HEREIN.

CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY ALL REQUIRED DIMENSIONS AND CONDITIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY KNOWN DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO BEGINNING OR COMMENCING CONSTRUCTION AND/OR FABRICATION OF ANY WORK. ALWAYS CONSULT THE ARCHITECT FOR DESIGN INTENT AND SUBMIT SHOP DRAWINGS FOR APPROVAL. VERIFY ALL EXISTING DIMENSIONS IN THE FIELD DO NOT SCALE THESE DRAWINGS.

ISSUES:		
NO.	DATE	DESCRIPTION
-	06.27.2025	ISSUE FOR OWNER REVIEW

LOCATION MAP (NTS) MAP 0203 GRID 0003 PARCEL 0859



PROJECT:

Hearse House  
Historic Rehabilitation

DRAWING TITLE:

GENERAL NOTES

SEAL & SIGNATURE

DATE: 02.11.2025  
PROJECT NO.: 24-3404.01  
SCALE: AS NOTED  
DWG. BY: MD  
CHK BY: BR  
DWG NO.: A0.01.00

PROFESSIONAL CERTIFICATION:  
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 17587, EXPIRATION DATE 01-06-2026.



B



DEMOLITION NOTES

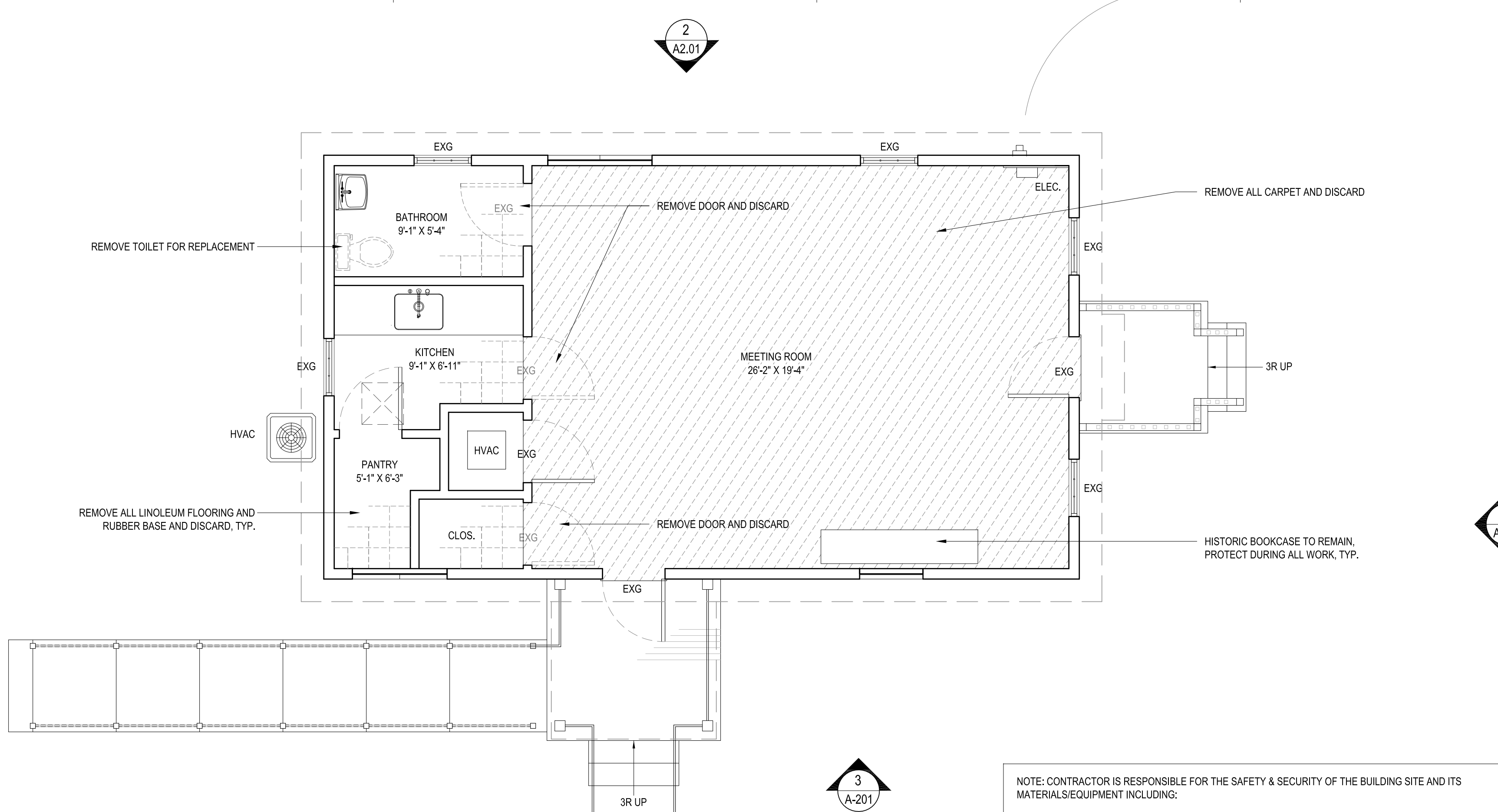
1. THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, AIA DOCUMENT A201 14TH EDITION AS PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS, IS HEREBY MADE A PART OF THESE DOCUMENTS TO THE SAME EXTENT AS IF BOUND IN THEIR ENTIRETY HEREIN. IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONTRACTOR'S MEANS, METHODS OR HAVE CONTROL OR CHARGE OVER THE ACTS AND OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OF THE AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, LOCAL CODES, ORDINANCES AND OSHA REGULATIONS.
3. CONTRACTOR SHALL OBTAIN AND PAY ALL FEES FOR PERMITS AND INSPECTIONS AS REQUIRED BY CODE, APPLICABLE LAWS OR GOVERNING AGENCIES IN CONNECTION WITH DEMOLITION WORK, REMOVAL AND DISPOSAL OF DEBRIS, ASBESTOS, ETC.
4. CONTRACTOR SHALL IN ADVANCE OF BID TOUR THE ENTIRE PROJECT TO ASCERTAIN THE EXISTING CONDITIONS AND THE FULL SCOPE OF DEMOLITION WORK REQUIRED FOR A COMPLETE PROJECT. CONTRACTOR SHALL ASSURE HIMSELF THAT THE QUANTITIES OF WORK AS ILLUSTRATED IN THE CONTRACT DOCUMENTS ARE A TRUE AND ACCURATE REPRESENTATION OF THE EXISTING CONDITIONS AND THE SCOPE OF THE WORK NECESSARY TO PROVIDE A COMPLETE PROJECT.
5. IF THE CONTRACTOR BELIEVES THAT THE SCOPE OF WORK IS NOT FULLY ILLUSTRATED IN THE CONTRACT DOCUMENTS, HE SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CORRECTIONS HE DEEMS NECESSARY.
6. ANY WORK NOT SHOWN ON THE DRAWING OR SPECIFICALLY MENTIONED IN THE SPECIFICATIONS BUT CONSIDERED NECESSARY FOR THE COMPLETION OF THE WORK IN PROPER MANNER SHALL BE PROVIDED BY THIS CONTRACTOR WITHOUT ADDITIONAL CHARGE.
7. REQUEST FOR CHANGE ORDERS RELATED TO THE CONTRACTOR'S FAILURE TO COMPLY WITH THE ABOVE TERMS WILL NOT BE APPROVED. ANY ADDITIONAL EXPENSES SHALL BE BORNE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
8. DEMOLITION CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN DEMOLISHING OR REMOVING ITEMS IN BUILDING SO AS TO CAUSE THE LEAST AMOUNT OF PATCHWORK AND REPAIR.
9. EXISTING FINISHES AND OTHER MATERIALS TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR DURING THE DEMOLITION AND REMOVAL PROCESS SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
10. ALL DEMOLISHED MATERIALS SHALL BE DISPOSED OF OFF-SITE AND NOT ALLOWED TO ACCUMULATE. PROTECT PATH OF TRAVEL OF RUBBISH DISPOSAL THROUGH THE BUILDING.
11. THE CONTRACTOR SHALL TAKE PRECAUTIONS DURING DEMOLITION TO AVOID REMOVING EXISTING STRUCTURAL COLUMNS AND BEAMS WHICH MAY BE CONCEALED AND WHICH ARE TO REMAIN.
12. CARE SHALL BE GIVEN TO THE PROTECTION OF EXISTING UTILITY LINES DURING DEMOLITION.
13. WHERE MECHANICAL, ELECTRICAL, AND PLUMBING WORK ARE REMOVED, ALL LINES, CONDUITS, DUCTS, ETC. SHALL BE CAPPED WITHIN THE WALLS, ABOVE FINISH CEILING OR BELOW FINISH FLOOR LINE.
14. DISCONNECT ELECTRIC CIRCUITS AT MAIN PANEL(S) SERVING AREAS TO BE DEMOLISHED.

ALTERATION PROJECT PROCEDURES:

15. CUT, MOVE OR REMOVE ITEMS AS NECESSARY TO PROVIDE ACCESS OR TO ALLOW ALTERATIONS AND NEW WORK TO PROCEED.
16. ASSIGN THE WORK OF MOVING, REMOVAL, CUTTING AND PATCHING, TO TRADES QUALIFIED TO PERFORM THE WORK IN A MANNER TO CAUSE LEAST DAMAGE TO EACH TYPE OF WORK, AND PROVIDE MEANS OF RETURNING TO APPEARANCE OF NEW WORK.
17. CUT FINISH SURFACES BY METHODS TO TERMINATE SURFACES ON A STRAIGHT LINE AT A NATURAL POINT OF DIVISION.
18. PROTECT FROM DAMAGE EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK WHICH IS SCHEDULED TO REMAIN.
19. CONTRACT DOCUMENTS WILL NOT DEFINE PRODUCTS OR STANDARDS OF WORKMANSHIP PRESENT IN EXISTING CONSTRUCTION, CONTRACTOR SHALL DETERMINE PRODUCTS BY INSPECTION AND ANY NECESSARY TESTING, AND WORKMANSHIP BY USE OF THE EXISTING AS A SAMPLE OF COMPARISON. G.C. SHALL DISCUSS W/ OWNER THE CORRECT WAY AND TIMES FOR BRINGING MATERIALS INTO THE SITE AND STORING. ALSO FOR THE PROPER PROCEDURES FOR DUMPSTER LOCATION AND TRASH REMOVAL AS TO COMPLY WITH SCOTCH PLAINS CONSTRUCTION WORK TIMES AND DAYS ORDINANCE.
21. PERFORM CUTTING AND REMOVAL OF WORK IN A MANNER TO AVOID DAMAGE TO ADJACENT WORK.
22. DEMOLITION SHALL COMPLY WITH ALL CODES AND REGULATIONS HAVING JURISDICTION ON SITE AND PROJECT.
23. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS AND NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DEVIATION FROM CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS OR ITEMS NOT COVERED.
24. ALL DEMOLITION SHALL BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING JURISDICTION AND THE OWNER. A FIRE WATCH SHALL BE PROVIDED IF ANY HAZARDOUS SITUATIONS ARE THOUGHT TO BE POSSIBLE. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION FOR POLLUTION CONTROL. THOROUGHLY CLEAN ADJACENT AREAS OF DUST, DIRT AND DEBRIS CAUSED BY DEMOLITION WORK BEFORE NEW WORK BEGINS. RETURN ADJACENT AREAS TO CONDITION FOUND PRIOR TO START OF DEMOLITION WORK.
25. HAZARDOUS MATERIAL NOTE: CONTRACTOR SHALL STOP WORK AND INFORM OWNER IMMEDIATELY IN WRITING OF ANY HAZARDOUS MATERIAL ENCOUNTERED OR THOUGHT TO BE HAZARDOUS MATERIAL. THE OWNER, AFTER RECEIVING WRITTEN NOTICE SHALL INSTRUCT CONTRACTOR ON HOW TO PROCEED.
26. PRIOR TO DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING AND ITS SYSTEMS AS REQUIRED.
27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPORT OF STRUCTURES DURING DEMOLITION AND NEW CONSTRUCTION WORK. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING, SCAFFOLDING, ETC., WHICH IS NECESSARY TO PREVENT COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE.
28. CONTRACTOR SHALL REVIEW ALL ITEMS TO BE DEMOLISHED WITH OWNER TO IDENTIFY ANY ITEMS TO BE SALVAGED PRIOR TO START OF DEMOLITION.
29. ANY FLOOR OPENINGS SHALL BE COVERED DURING DEMOLITION AND CONSTRUCTION.
30. PROVIDE ALL DEMOLITION REQUIRED FOR NEW CONSTRUCTION WHETHER OR NOT DEMOLITION WORK IS SHOWN AND/OR CALLED OUT.

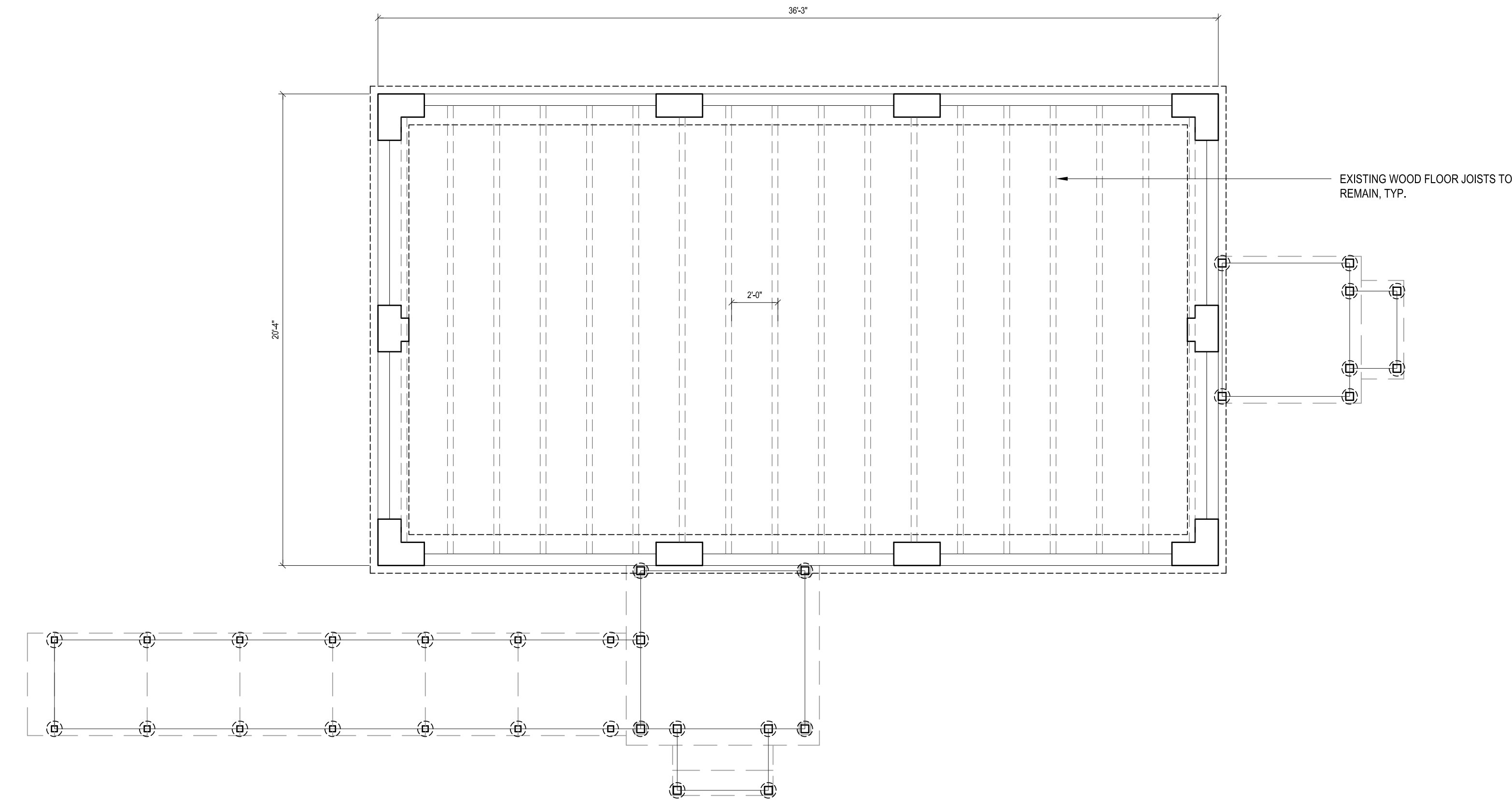
CONTRACTOR NOTES

1. IF NECESSARY, PROVIDE TEMPORARY STRUCTURAL SHORING AS REQUIRED TO COMPLETE THE WORK WITHOUT WEAKENING THE EXISTING STRUCTURE.
2. CONSULT WITH ARCHITECT SHOULD QUESTIONS ARISE REGARDING UNDERMINING ANY EXISTING STRUCTURE.
3. DISCONNECT AND/OR SHUTDOWN PLUMBING, ELECTRICAL AND DUCT WORK AS REQUIRED.
4. REMOVE ALL NON-HISTORIC INTERIOR FINISHES, AS NECESSARY TO COMPLETE WORK.
5. TAKE SPECIAL CARE TO ENSURE THAT NO DAMAGE OCCURS IN ANY OTHER AREA OF THE HISTORIC BUILDING DURING DEMOLITION OF INDICATED AREAS.
6. TAKE SPECIAL CARE TO PREVENT DIRT, DUST AND CONSTRUCTION DEBRIS FROM ENTERING OTHER AREAS OF THE BUILDING. DOORS TO AREAS OUTSIDE THE SCOPE OF WORK SHALL BE COVERED AND TAPED, AND OPENINGS TO AREAS OUTSIDE THE SCOPE OF WORK SHALL BE CLOSED OFF WITH PLASTIC AND SEALED WITH TAPE WHEREVER POSSIBLE, WITHOUT DAMAGING THE EXISTING CONDITIONS.
7. KEEP WORK CLEAN ON A DAILY BASIS. ALL DEBRIS SHALL BE PUT IN A CONTAINER AT DAY'S END.
8. CONSULT WITH OWNER PRIOR TO DISCARDING ANY EXISTING FIXTURES, HARDWARE OR OTHER ITEMS THAT THE OWNER MAY WISH TO RE-USE.



FIRST FLOOR DEMO PLAN

SCALE: 1/4"= 1'-0"



FOUNDATION DEMO PLAN

SCALE: 1/4"= 1'-0"

- EXISTING PARTITION TO REMAIN
- PARTITION TO BE REMOVED
- HISTORIC CONSTRUCTION
- NEW 2x CONSTRUCTION

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Hearse House

408 High Street  
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Chestertown, Kent County, MD 21620  
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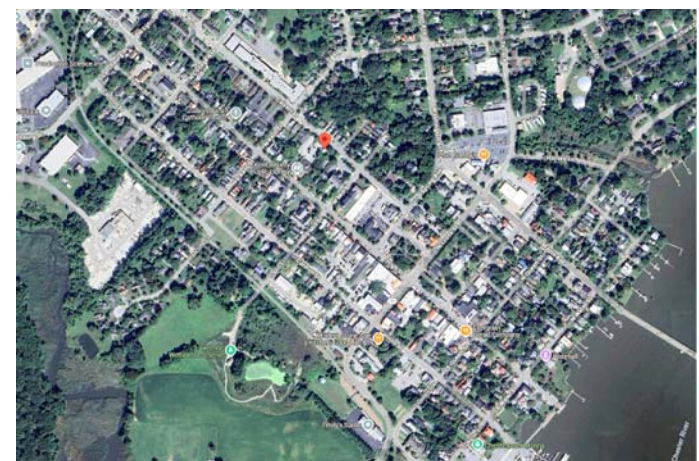
THE DRAWINGS, SPECIFICATIONS, AND OTHER DOCUMENTS PREPARED BY THE ARCHITECTS FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECTS SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT. THIS DRAWING IN PRINTED AND ELECTRONIC FORM MAY NOT BE USED, COPIED, REPRODUCED, OR CHANGED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF BARTON ROSS & PARTNERS, LLC. ARCHITECTS. ANY USE, REPRODUCTION, MODIFICATION OR CHANGE WILL SUBJECT THE USER AND ITS AGENTS TO LIABILITY OF SUCH ACTS.

BY USE OF THESE DRAWINGS, OWNER AND CONTRACTOR ACKNOWLEDGE THAT THE DRAWINGS AND PROJECT MANUAL, CONTENTS ARE CONSIDERED WITH THE SCOPE OF WORK PROVIDED FOR THIS PROJECT. THE OWNER AND CONTRACTOR CERTIFY THAT ANY AND ALL DEFECTS, ERRORS, INCONSISTENCIES OR OMISSIONS IN THE DRAWINGS OR SPECIFICATIONS OF WHICH IT IS AWARE, EITHER DIRECTLY OR BY NOTIFICATION FROM ANY SUBCONTRACTOR OR MATERIAL SUPPLIER HAVE BEEN NOTED AND BROUGHT TO THE ARCHITECTS' ATTENTION. OWNER AND CONTRACTOR AGREE AND AFFIRM THAT NO CLAIM SHALL BE MADE AGAINST BARTON ROSS & PARTNERS, LLC ARCHITECTS BASED ON DEFECTIVE DESIGN DOCUMENTS OR AMBIGUITIES ATTRIBUTED TO THE REPRESENTATION OF THE SCOPE OF WORK DOCUMENTED HEREIN.

CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY ALL REQUIRED DIMENSIONS AND CONDITIONS AT THE JOBSITE AND NOTIFY THE ARCHITECT OF ANY KNOWN DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES PRIOR TO BEGING OR COMMENCING CONSTRUCTION AND/OR FABRICATION OF ANY WORK. ALWAYS CONSULT THE ARCHITECT FOR DESIGN INTENT AND SUBMIT SHOP DRAWINGS FOR APPROVAL. VERIFY ALL EXISTING DIMENSIONS IN THE FIELD DO NOT SCALE THESE DRAWINGS.

ISSUES:		
-	06.27.2025	ISSUE FOR OWNER REVIEW
NO.	DATE	DESCRIPTION

LOCATION MAP (NTS) MAP 0203 GRID 0003 PARCEL 0859



PROJECT:

Hearse House  
Historic Rehabilitation

DRAWING TITLE:

DEMOLITION PLANS

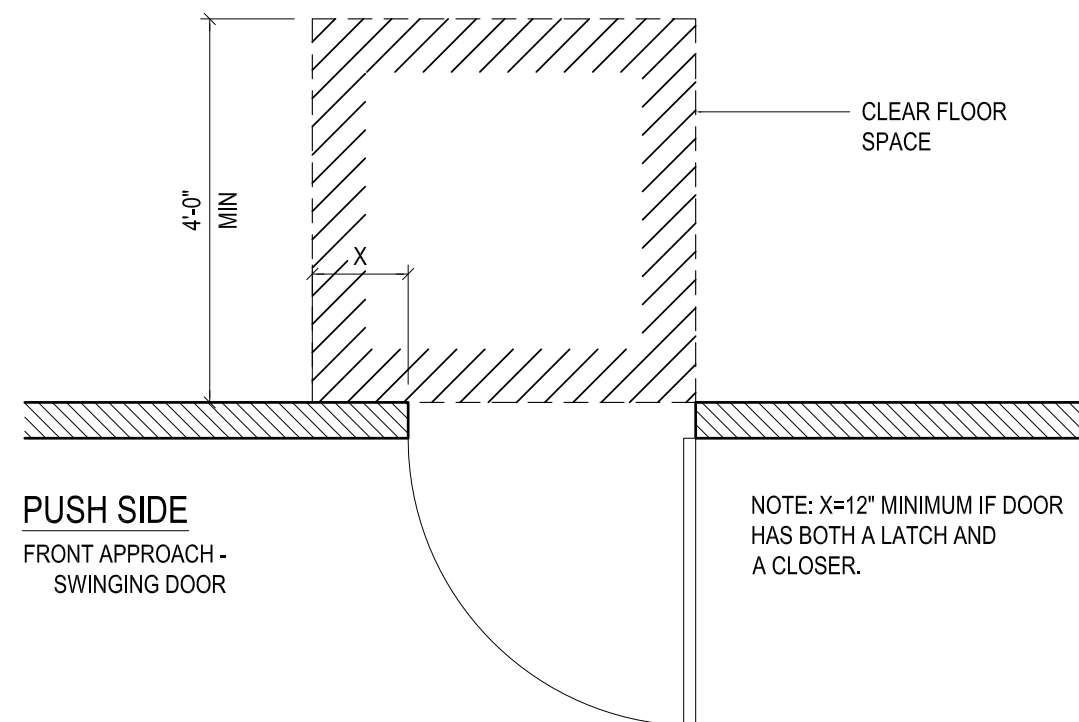
SEAL & SIGNATURE		DATE:	02.11.2025
		PROJECT NO.:	24-3404.01
		SCALE:	AS NOTED
		DWG. BY:	MD
		CHK BY:	BR
		DWG NO.:	
		A0.03.00	
		- OF -	

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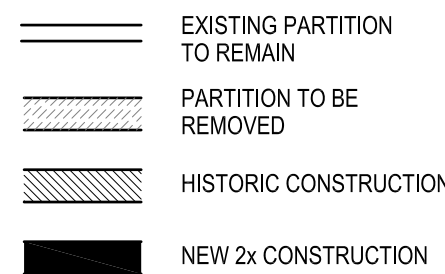
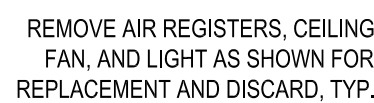


ICC/ANSI A117.1-2003

- PULL SIDE**  
FRONT APPROACH - SWINGING DOOR



SCALE: 1/4"= 1'-0"



SCALE: 1/4"= 1'-0"

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 NUMBER 17587, EXPIRATION DATE 01-06-2026.

NOT FOR CONSTRUCTION

B



1. CONTRACTOR SHALL DEMOLISH AND REMOVE ITEMS INDICATED ON THE DRAWINGS AND IN THE SPECIFICATIONS. CONTRACTOR SHALL REMAIN RESPONSIBLE FOR ANY DEMOLITION AND/OR REMOVALS NOT SPECIFICALLY CALLED FOR ON THE DRAWINGS AND SPECS. BUT REQUIRED TO ACHIEVE THE FINAL DESIGN INTENT AS DELINEATED ON THE DRAWINGS AND SPECIFICATIONS.
2. CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION TO REMAIN DURING DEMOLITION AND FOR THE DURATION OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING DAMAGE WHICH MAY OCCUR TO THE EXISTING CONSTRUCTION TO REMAIN WHICH IS CAUSED BY THEM DURING CONSTRUCTION.
3. CONTRACTOR SHALL PATCH AND/OR REPAIR ALL EXISTING ADJACENT CONSTRUCTION MAY BE REQUIRED AFTER DEMOLITION TO PROVIDE A COMPLETE FINISHED INSTALLATION.
4. EACH TRADE WHETHER GENERAL CONTRACTOR OR SUBCONTRACTOR IS RESPONSIBLE FOR THEIR OWN CUTTING. ALL PATCHING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
5. WHERE EXISTING LUMINAIRES, ELECTRICAL RECEPTACLES, AND OTHER ELECTRICAL ITEMS ARE TO BE REMOVED, ALL ASSOCIATED SERVICES SHALL BE CAPPED AND REMOVED IN ACCORDANCE WITH ALL APPLICABLE CODES.
6. ANY FURNITURE OR FURNISHING TO REMAIN DURING DEMOLITION OR CONSTRUCTION SHALL BE PROTECTED BY CONTRACTOR.
7. CONTRACTOR IS RESPONSIBLE FOR FURNISHING, INSTALLING, AND MAINTAINING DUST BARRIERS TO PROTECT ADJACENT AREAS FROM DUST AND DEBRIS CAUSED BY CONSTRUCTION.
8. PRIOR TO PERFORMING ANY DEMOLITION ACTIVITIES THE CONTRACTOR SHALL VERIFY ALL CONDITIONS ON THE SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE DRAWINGS..
9. ALL FINISH MATERIALS E.G. WALL COVERINGS, WALL BASE, VCT, CARPET, ETC. TO BE REMOVED TO THE CORE OF THE BUILDINGS AND SURFACES PREPARED TO BE REFINISHED BY OTHER FINISHERS.
10. REMOVE ALL FLOOR MOUNTED POKE THRU'S, AND POWER POLES. REMOVE ALL ELECTRICAL CABLES PER CODE. FILL HOLES WITH FIRE RATED ABANDONMENT PLUGS.
11. WHERE REMOVING EXISTING PLUMBING FIXTURES, CAP OFF ALL LINES AS REQUIRED BY CODE.
12. COORDINATE ALL DEMOLITION WITH CONSTRUCTION PLAN.
13. PATH AND PREPARE FLOOR, WALLS, AND COLUMN ENCLOSURES AND MAKE READY FOR NEW FINISHES.
14. PATCH HOLES LEFT BEHIND IN WALLS FROM THE REMOVAL OR RELOCATION OF SWITCHES AND RECEPTACLES.
15. WIRING TO ELECTRICAL DEVICES TO BE REMOVED SHALL BE DISCONNECTED AND REMOVED FROM THE PANEL AND DISCARD, FILL HOLES WITH FIRE ABANDONMENT PLUGS.

1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, LAWS, ORDINANCES, RULES & REGULATIONS INCLUDING SITE AND LOCAL CODES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS AND METHODS OF CONSTRUCTION, WHETHER IT BE THEIR OWN OR THAT OF THEIR EMPLOYEES OR SUBCONTRACTORS.
3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NEW CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE A CONTRACT BID IS SUBMITTED TO THE OWNER AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN ACTUAL AND SHOWN ON THE DRAWINGS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADJACENT AREAS TO REMAIN AND SHALL BE RESPONSIBLE FOR CORRECTING ANY DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION.
5. CONTRACTOR SHALL PROCURE AND PAY FOR ALL APPLICABLE PERMITS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS FROM THE PREMISE.
7. ARCHITECT IS NOT RESPONSIBLE FOR ANY CHANGES MADE WHICH DEVIATE FROM THE DRAWINGS, WHETHER INITIATED BY OWNER, CONTRACTOR, OR BOTH, UNLESS AGREED UPON BY ARCHITECT IN WRITING.
8. OWNER OR SHALL GUARANTEE WORK FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF COMPLETION.
9. CONTRACTOR SHALL MAINTAIN APPROPRIATE INSURANCE FOR THE PROJECT.
10. ANY ADDENDA OF MODIFICATION ISSUED BY THE ARCHITECT SHALL BECOME IMMEDIATELY INCORPORATED INTO THE WORK AS IF ORIGINALLY INCLUDED HERewith.
11. ONLY THOSE AREAS DESIGNATED BY THE OWNER SHALL BE USED FOR THE STORAGE OF CONSTRUCTION EQUIPMENT AND MATERIALS.
12. THE ARCHITECT SHALL BE HELD HARMLESS BY ALL PARTIES AGAINST ANY CLAIMS THAT MAY ARISE OUT OF CONSTRUCTION PROCEDURES OR ACTIVITIES.
13. ANY ITEMS REQUIRING CLARIFICATION OR A DECISION BY THE ARCHITECT SHALL BE ADDRESSED BY THE ARCHITECT IN THE FORM OF A DETAIL OR IN THE FORM OF A DETAIL, VERBAL RESOLUTIONS ARE NOT BINDING.
14. IF CONTRACTOR PROPOSES A SUBSTITUTION FOR ANY OF THE MATERIALS OR EQUIPMENT SPECIFIED HEREIN, IT SHALL BE THE DUTY OF THE ARCHITECT TO DETERMINE IF THE SUBSTITUTE IS ACCEPTABLE OR EQUAL TO THE SPECIFIED ITEM SHALL BE SUBMITTED TO THE ARCHITECT. THE ARCHITECT SHALL DETERMINE IF ANY ITEM IS ACCEPTABLE OR EQUAL. HOWEVER THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PERFORMANCE OF THE ITEM. REJECTED ITEM SHALL NOT BE USED UNDER ANY CIRCUMSTANCES.
15. GENERAL CONTRACTOR SHALL PROVIDE CLEANING OF ALL GLASS, PAINTING OR FINISHES SURFACES, HARDWARE, MASONRY, ETC. FOLLOWING THE COMPLETION OF CLEAN UP. SHOULD ANY CONTRACTOR MARK OR LITTER ANY AREAS CLEANED, THE CONTRACTOR RESPONSIBLE SHALL CLEAN SAID AREAS TO THE SATISFACTION OF THE ARCHITECT.
16. DRAWINGS SHALL NOT BE SCALED.
17. ALL DIMENSIONS ARE TO ROUGH OPENINGS.

1. CONCRETE FOOTINGS SHALL BE READY MIX STONE AGGREGATE WITH A MINIMUM OF 28 DAY STRENGTH OF 3,000 PSI.
2. MORTAR SHALL BE TYPE 'M' WITH 28 DAY STRENGTH OF 2,500 PSI. ONE PART PORTLAND TO PART PART 10 TO 3 PARTS MASON SAND.
3. CALCIUM CHLORIDE MAY BE USED TO SPEED UP SETTING TIME IN COLD WEATHER IT MUST NOT EXCEED 2% OF THE WEIGHT OF THE MIX.
4. FRAMING LUMBER SHALL BE DOUGLAS FIR CONSTRUCTION GRADE WITH A MINIMUM OF 1,200 PSI FIBER STRENGTH. REFER TO DRAWINGS FOR THE SIZE OF MEMBERS.
5. ENGINEER PLY LUMBER SHALL BE 2.0E WITH A MINIMUM OF 3,100 PSI FIBER STRENGTH. CARPENTERS SHALL INSPECT LUMBER, BEFORE INSTALLATION, TO CHECK FOR DEFECTS IE. WARPING, BOWS, HORN, KNOTS, AND HORIZONTAL SPLITTING.
6. ALL DOORS AND WINDOWS OPENING OVER 46" SHALL HAVE DOUBLE LINES, UNLESS OTHERWISE NOTED.
7. ALL WOOD IN CONTACT WITH MASONRY SHALL BE SOUTHERN YELLOW PINE 'TREATED', GAPS AND SPACES BETWEEN ALL STRUCTURAL MEMBERS SHALL NOT BE ALLOWED.
8. STEEL SHALL CONFORM TO ASTM A-36, FREE FROM GREASE, MILL SCALE, AND RUST. ALL STEEL SHALL BE SHOP COATED.
9. ALL STRUCTURAL POSTS SHALL BE COATED TO SOLID BEARING ON TOP OF FOUNDATION.
10. ALL JOINTS IN WALLS SHALL BE SEALED WITH FIRE WOOD OR FOAM.
11. ALL STRUCTURAL CONNECTORS SHALL BE HOT DIPPED GALVANIZED WHEN USED WITH PRESSURE TREATED LUMBERS.

1. IF NECESSARY, PROVIDE TEMPORARY STRUCTURAL SHORING AS REQUIRED TO COMPLETE THE WORK WITHOUT WEAKENING THE EXISTING STRUCTURE.
2. CONSULT WITH ARCHITECT SHOULD QUESTIONS ARISE REGARDING UNDERMINING ANY EXISTING STRUCTURE.
3. DISCONNECT AND/OR SHUTDOWN PLUMBING, ELECTRICAL AND DUCT WORK AS REQUIRED.
4. REMOVE ALL INTERIOR FINISHES, AS NECESSARY TO COMPLETE WORK.
5. TAKE SPECIAL CARE TO ENSURE THAT NO DAMAGE OCCURS IN ANY OTHER AREA OF THE BUILDING DURING REMOVAL OF INDICATED AREAS.
6. TAKE SPECIAL CARE TO PREVENT DIRT, DUST AND CONSTRUCTION DEBRIS FROM ENTERING OTHER AREAS OF THE BUILDING. DOORS TO AREAS OUTSIDE THE SCOPE OF WORK SHALL BE COVERED AND TAPED, AND OPENINGS TO AREAS OUTSIDE THE SCOPE OF WORK SHALL BE CLOSED OFF WITH PLASTIC AND SEALED WITH TAPE WHEREVER POSSIBLE, WITHOUT DAMAGING THE EXISTING CONDITIONS.
7. KEEP WORK CLEAN ON A DAILY BASIS. ALL DEBRIS SHALL BE PUT IN A CONTAINER AT DAY'S END.
8. CONSULT WITH OWNER PRIOR TO DISCARDING ANY EXISTING FIXTURES, HARDWARE OR OTHER ITEMS THAT THE OWNER MAY WISH TO RE-USE.



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NOT FOR CONSTRUCTION

B



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ROUGH CARPENTRY NOTES

STRESS -GRADE LUMBER SHALL BE DOUGLAS FIR LARCH DENSE SELECT STRUCTURAL MACHINE STRESS RATED

a. STRESS IN EXTREME FIBER IN BENDING Fb = 2,400psi  
b. HORIZONTAL SHEAR Fv = 95 psi  
c. COMPRESSION PERPENDICULAR TO GRAIN Fc = 455 psi  
d. COMPRESSION PARALLEL TO GRAIN Fc = 1,650 psi  
e. MODULUS OF ELASTICITY E = 1,900,000 psi

THE LUMBER AND ALL FASTENINGS SHALL CONFORM TO THE "NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENINGS" BY THE NATIONAL LUMBER MANUFACTURERS ASSOCIATION. CONTRACTOR SHALL BE RESPONSIBLE TO CONSULT WITH ARCHITECT FOR APPROVAL FOR ALL ENGINEERED LUMBER SUBSTITUTIONS. CONTRACTOR SHALL INSPECT LUMBER BEFORE INSTALLATION TO CHECK FOR DEFECTS, GAPS AND SPACES BETWEEN ALL STRUCTURAL MEMBERS SHALL NOT BE ALLOWED. ALL JOIST JOIST MEMBERS ARE TO BE INSTALLED CROWN SIDE UP

MECHANICAL NOTES

1. MECHANICAL CONTRACTOR IS TO INSURE THAT ALL WORK AND SERVICES CONFORM TO ALL APPLICABLE CODES AND ORDINANCES. HVAC CONTRACTOR TO SUPPLY SHOP DRAWINGS AND DETERMINE CFM REQUIRED TO MEET DESIGN CRITERIA AS PER HVAC PLANS.
2. ALL MATERIALS, EQUIPMENT, AND CONTROLS SHALL BE SUBMITTED TO MECHANICAL CONSULTANT/ OR ARCHITECT FOR APPROVAL. FAILURE TO COMPLY SHALL VOID ALL PURCHASES OF EQUIPMENT AND SHALL NOT BE THE RESPONSIBILITY OF THE OWNER.
3. CONTRACTOR TO PROVIDE MULTI-ZONE CENTRAL HVAC SYSTEM WITH CENTRAL RETURNS, INDIVIDUAL RETURNS IN BEDROOMS AND PROGRAMMABLE THERMOSTATS.
4. INSTALL NEW GAS AND ELECTRIC FIRED HVAC UNITS AS MANUFACTURED BY TRANE, LENOX OR CARRIER WITH ELECTRONIC PROGRAMMABLE THERMOSTATS, A PRILAIRE (MODEL AS REQUIRED, EXCLUDE HUMIDIFIER IN ALL ATTIC SPACES) POWER HUMIDIFIER AND SPACE-GARD MODEL 2200 AIR CLEANERS (LEAVE TWO SPARE AIR CLEANER FILTERS ON SITE FOR OWNERS FUTURE USE), UNITS IN ATTIC SPACES AND CRAWL SPACES SHALL BE HORIZONTAL UNITS.
5. PERFORMANCE / EFFICIENCY REQUIREMENTS:  
HEATING SYSTEM MUST MAINTAIN INTERIOR TEMPERATURE OF: 70 DEGREES F AT 0 DEGREES F AMBIENT TEMPERATURE.  
COOLING SYSTEM MUST MAINTAIN INTERIOR TEMPERATURE OF: 75 DEGREES F AT 95 DEGREES F AMBIENT TEMPERATURE.
6. MATERIALS: DUCTWORK SHALL BE CONSTRUCTED SO AS TO CONFORM TO SMACNA.
7. ALL HVAC DUCT TAPE FOR BOTH RIGID AND FLEXIBLE DUCTWORK SEALING SHALL BE 2 1/2" WIDE NASHUA 324A CONFORMING TO UL-181A/F (NASHUA 800.248.7659) NO OR EQUAL S.S. SEAL ALL JOINTS AND CORNERS, INCLUDING PREFABRICATED JOINTS AND LONGITUDINAL SEAMS.
8. G.C. TO FURNISH AND INSTALL DUCTWORK AS REQUIRED, TO EXTERIOR, FOR EXHAUST FANS.
9. G.C. TO FURNISH AND INSTALL INSULATED (M IN R-6) DUCTWORK, AS REQUIRED, TO EXTERIOR, FOR BATHROOM EXHAUST FANS.
10. ALL DUCTS IN THE OUTSIDE WALLS AND UNCONDITIONED AREAS SHALL BE INSULATED WITH 1" THICK FIBERGLASS WRAP WITH VAPOR BARRIER.

ELECTRICAL NOTES

1. ALL WIRING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE (NEC) IN EFFECT AND ALL APPLICABLE STATE AND LOCAL CODES.
2. WIRING LAYOUT IS SCHEMATIC IN NATURE. ACTUAL WIRING TO BE DETERMINED ON SITE BY QUALIFIED, LICENSED ELECTRICIAN FOLLOWING THE INTENT OF THE DRAWINGS.
3. MINIMUM WIRE SIZE SHALL BE #12 AWG CU, UNLESS OTHERWISE SPECIFIED.
4. MANUFACTURERS SHOWN OR SPECIFIED ARE INTENDED TO IDENTIFY QUALITY AND TYPE OF FIXTURES AND MATERIALS. EQUIVALENT UNITS MAY BE USED UNLESS OTHERWISE NOTED, WITH PRIOR APPROVAL OF THE ARCHITECT AND ENGINEER.
5. ALL LOADS SHALL BE BALANCED EVENLY.
6. ALL CIRCUITS TO BE IDENTIFIED CLEARLY AND IN A PERMANENT FASHION AT THE PANELS.
7. VERIFY FINAL BUILDING DESIGN, PARTITIONS, DOORS, EQUIPMENT REQUIREMENTS AND LAYOUT, ETC., BEFORE STARTING WORK.
8. RUN EXPOSED WIRING ONLY WITH PRIOR APPROVAL OF THE ARCHITECT AND ENGINEER.
9. WHERE LONG WIRE RUNS ARE REQUIRED, INSURE LESS THAN 3% VOLTAGE DROP UNDER FULL LOAD, UPSIZE WIRE SIZE ON RUNS OVER 100 FEET.
10. GENERALLY, WIRING MAY BE NM-B CABLE AS ALLOWED BY CODE. WIRING UNDERSLAB / UNDERGROUND IN OR THROUGH MASONRY SHALL BE IN RIGID STEEL, IMC OR SCHEDULE 80 PVC (ELECTRICAL), EXPOSED EXTERIOR WIRING SHALL BE IN RIGID STEEL. INTERIOR WIRING MAY BE IN NM-B. CONNECTIONS TO EQUIPMENT SHALL BE IN MC OR GREENFIELD FOR INTERIOR WORK AND IN LIQUIDTITE FOR EXTERIOR CONNECTIONS AND IN WET OR CORROSIVE ENVIRONMENTS.
11. E.C. SHALL PROVIDE AND INSURE FIREPROOFING OF ALL CONDUIT, CABLING, ANY OTHER ELECTRICAL DEVICES THROUGH FIRE RATED ASSEMBLIES.
12. ALL BOXES SHALL BE STEEL.
13. HARDWARE FOR SMOKE DETECTORS IN EXISTING PORTIONS OF THE HOUSE AS REQUIRED BY CODE.
14. DETERMINE EXACT LOCATION OF SWITCHES, OUTLETS, AND FIXTURES ON-SITE WITH OWNER OR ARCHITECT PRIOR TO INSTALLATION.
15. PROVIDE THERMAL/MAGNETIC CIRCUIT BREAKERS WITH HACR BREAKERS FOR HVAC EQUIP.
16. LIGHT FIXTURES SHALL BE SECURELY FASTENED TO STRUCTURAL BUILDING MEMBERS.
17. COORDINATE EXACT POWER CONNECTION REQUIREMENTS & LOCATIONS ON SITE WITH EQUIPMENT SUPPLIER.
18. PROVIDE PULL STRINGS IN ALL CONDUIT SYSTEMS LEFT FOR USE BY OTHERS (PHONE, CATV, ETC.).
19. ALL FIXTURE AND DEVICE MOUNTING HEIGHTS SHALL CONFORM WITH ADA ACCESSIBILITY GUIDELINES. INSTALL SWITCHES @ 48" A.F.F. U.O.N. INSTALL OUTLETS @ 18" A.F.F. OR 6" ABOVE COUNTERS U.O.N.

PLUMBING NOTES

1. ALL WORK SHALL CONFORM TO THE NATIONAL STANDARD PLUMBING CODE AND APPLICABLE REQUIREMENTS OF ANY LOCAL CODES HAVING JURISDICTION.
2. CONTRACTOR TO VERIFY ADEQUACY OF EXISTING/NEW SYSTEM AS DESIGNED TO SATISFY DESIGN CRITERIA.
3. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NEW PLUMBING FIXTURES AS SHOWN ON PLAN.
4. THE CONTRACTOR SHALL PROVIDE ALL SHUT-OFF VALVES AS REQUIRED BY CODE AND PLACE IN AN ACCESSIBLE LOCATION FOR SERVICE NEEDS.
5. ALL WASTE AND VENT PIPE SHALL BE P.V.C. AND VENT PENETRATIONS SHALL BE COPPER; ALL WATER RISERS SHALL BE 1" COPPER WITH 1/2" COPPER SUPPLIES (3/4" SUPPLY FOR SHOWERS). ALL GAS PIPING SHALL BE BLACK PIPE OR TRAC PIPE, SIZE AS REQ'D. - PROVIDE ALTERNATE PRICE FOR PEX PIPING.

GENERAL NOTE:

1. CM TO COORDINATE WORK ASSOCIATED WITH UNDERGROUND LEADERS AND REROUTING SCUPPERS AND LEADERS WITH THE OWNER.

2. REFER TO ELECTRICAL DRAWINGS FOR SPECIFIC INFORMATION AND LAYOUT.

3. REFER TO MECHANICAL DRAWINGS FOR SPECIFIC INFORMATION AND LAYOUT.

4. CLEAN AND COAT ALL EXPOSED STEEL LINTEL SURFACES AT EVERY WINDOW AND DOOR, TYP.

GENERAL ELECTRICAL NOTES:

1. ALL OUTLETS TO BE MOUNTED HORIZONTALLY IN CLOSETS OR IN FLOORING ONLY. REFER TO ARCHITECT.

2. WHERE POSSIBLE, CENTER DEVICES HORIZONTALLY ON WALL TO BE CONCEALED BY FURNITURE.

3. ALL OUTLETS AND SWITCHES TO HAVE DECORATIVE DEVICE COVERS AND COVER PLATES PER ARCHITECT.

4. OUTLET SWITCHES OR LIGHT FIXTURES ON EITHER SIDE OF DEMISING WALL SHALL NOT BE IN SAME STUD CAVITY, TYP.

5. CENTER ALL FIXTURES WITHIN ROOMS OR SPACES UNLESS DIMENSIONED OR NOTED OTHERWISE, VERIFY ALL FINAL PLACEMENTS IN THE FIELD WITH THE ARCHITECT, TYP.

6. NON-METALLIC / ROMEX CAN BE SUBSTITUTED FOR METAL CLAD CONDUIT PER OWNER. CIRCUITS SERVING LIGHTING-ONLY ARE ALLOWED TO BE 15 AMP/14 GA.

2 ROOF REPAIR PLAN

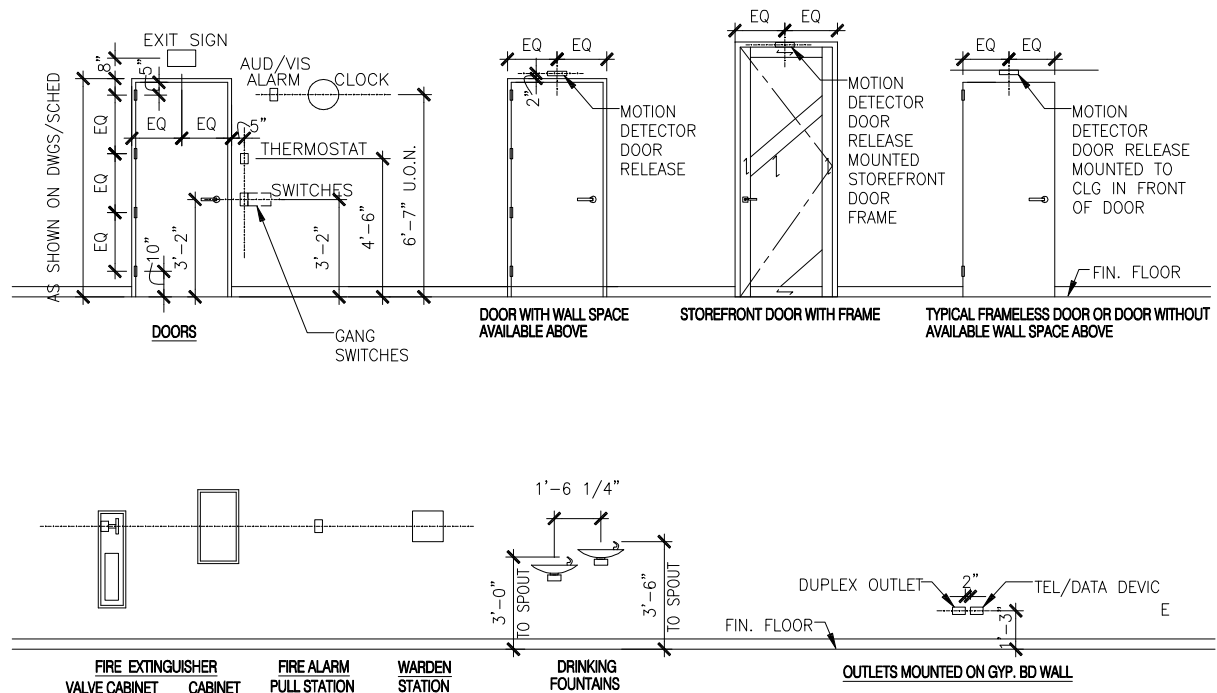
SCALE: 1/4"= 1'-0"

ELEC. / LIGHTING LEGEND

OUTLETS	RECESSED LIGHT FIXTURES	EQUIPMENT
DUPLEX	RECESSED DOWNLIGHT	CABLE TV
QUADRUPLEX	WATERPROOF DOWNLIGHT	TELEPHONE
GFI	RECESSED EXHAUST FAN	DATA
SWITCHED OUTLET		SMOKE DETECTOR, HARD-WIRED WITH BATTERY BACK-UP
APPLANCE OUTLET		
WEATHERPROOF EXTERIOR		

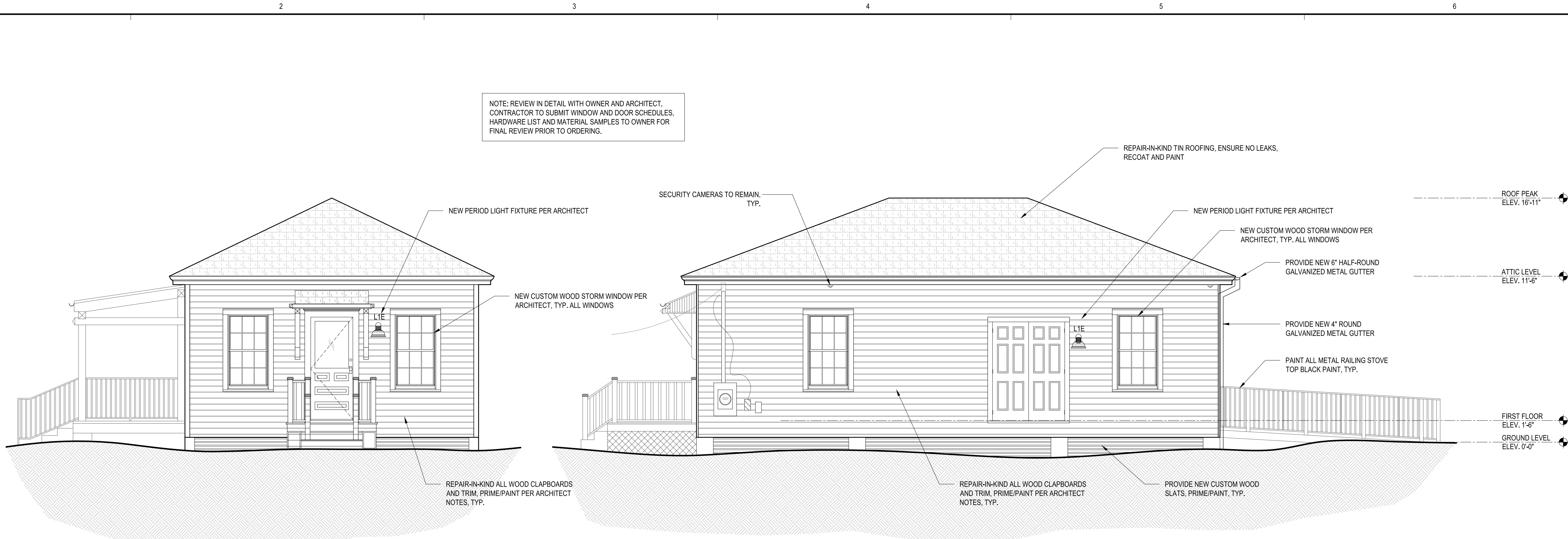
SURFACE MOUNTED LIGHTS	SWITCHES
SCONCE	TRACK LIGHTING
CEILING FIXTURE	SINGLE
PENDANT FIXTURE	3-WAY
WALL WASHER	DIMMER
	3-WAY DIMMER
	PICTURE LIGHT
	DOOR BELL
	UNDER-CABINET LIGHT
	THERMOSTAT

TYPICAL MOUNTING HEIGHTS






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1 FRONT (NORTHEAST) FACADE ELEVATION  
SCALE: 1/4"= 1'-0"

2 RIGHT (NORTHWEST) FACADE ELEVATION  
SCALE: 1/4"= 1'-0"

EXTERIOR LIGHT SCHEDULE								
SYMBOL	TYPE	LOCATION	MOUNTING	DESCRIPTION	LAMP			REMARKS
					QUANTITY	TYPE	WATTAGE	
	L1E	ENTRANCES	SURFACE	CABOOSE OUTDOOR LIGHT - LARGE; 4.75" BACKPLATE, (14.5" HIGH X 10.25" WIDE X 11.5" DEEP); MEDIUM BASE SOCKET; WET LOCATION; WEATHERED BRONZE FINISH	3	INCANDESCENT	150	COORDINATE WITH ARCHITECT FOR MOUNTING HEIGHTS

GUTTER NOTE: ALL GUTTERS TO BE GALVANIZED OR COPPER 6" HALF-ROUND WITH 4" ROUND LEADERS DIRECTED TO A SUBTERRANEAN DRAIN; CONTRACTOR TO USE 6" SCHEDULE 40 PVC FOR DRAIN; CONNECT TO TOWN STORMWATER SYSTEM, TYP.

WINDOW NOTE: ALL WINDOWS TO MATCH EXISTING OR BE CUSTOM WOOD CLAD UNITS WITH 1" MUNTINS. ALL "EGRESS" LABELED WINDOWS SHALL MEET EGRESS REQUIREMENTS. TEMPERED GLASS SHALL BE PROVIDED ON ALL WINDOWS FACING TUBS, JACUZZIS, OR ANY WINDOW WITH SILL HEIGHTS LESS THAN 18". ALL HEADERS SHOULD BE (2) 2X10s, TYPICAL.

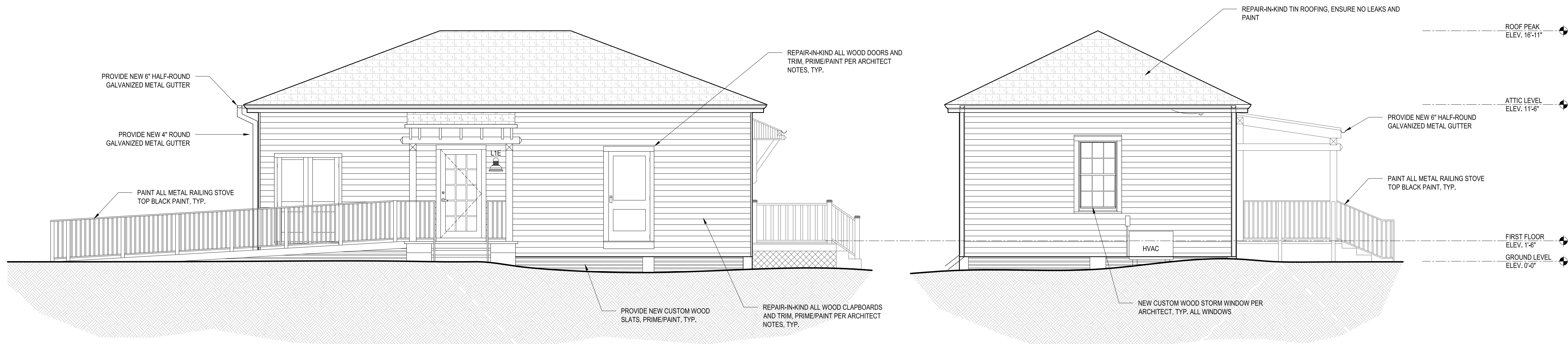
NOTE: EXTERIOR CLAPBOARDS TO BE PAINTED BENJAMIN MOORE CW-375 "TAVERN OCHRE"; EXTERIOR WINDOW SASH, RAILINGS, COLUMNS & ALL EXTERIOR TRIM TO BE PAINTED BENJAMIN MOORE CW-170 "CAPITOL WHITE"

ALL INTERIOR WALL SURFACES TO BE PAINTED BENJAMIN MOORE CW-95 "LIME WHITE"; DOORS, BASEBOARDS, TRIM, AND WAINSCOTING TO BE PAINTED BENJAMIN MOORE CW-170 "TARPLEY BROWN"

PROTECT ROOF DURING ALL WORK. PRIME + (2) FINISH COATS OF PAINT, TYP. FOR FINISH NAILING USE REPRODUCTION CUT NAILS FROM TREMONT NAIL COMPANY, WAREHAM, MA - COORDINATE FINISH WORK WITH ARCHITECT.

ALL COLORS ARE APPROVED EQUAL WITH MFR. OR SUPPLIER AS AVAILABLE. VERIFY ALL FINAL PAINT COLORS WITH ARCHITECT BEFORE ORDERING, TYP.

NOTE: WOOD SIDING TO BE REPAIRED-IN-KIND, FIRST HAND SCAPE CLEAN, FILL HOLES WITH WEST SYSTEM EPOXY OR WOOD PUTTY, SAND UNTIL SMOOTH SURFACE, USE OIL BASED PRIMER, THEN USE SHERWIN WILLIAMS PEELEBOND PRIMER AT LEAST (2) COATS FOLLOWED BY MIN. THREE (3) COATS OF FINISH PAINT, TYP. FOR FINISH NAILING USE REPRODUCTION NAILS FROM TREMONT NAIL COMPANY, WAREHAM, MA - OR COORDINATE FINISH WORK WITH ARCHITECT. ALL FINAL PAINT COLORS BY OWNER.



3 LEFT (SOUTHEAST) FACADE ELEVATION  
SCALE: 1/4"= 1'-0"

4 REAR (SOUTHWEST) FACADE ELEVATION  
SCALE: 1/4"= 1'-0"

NOT FOR CONSTRUCTION

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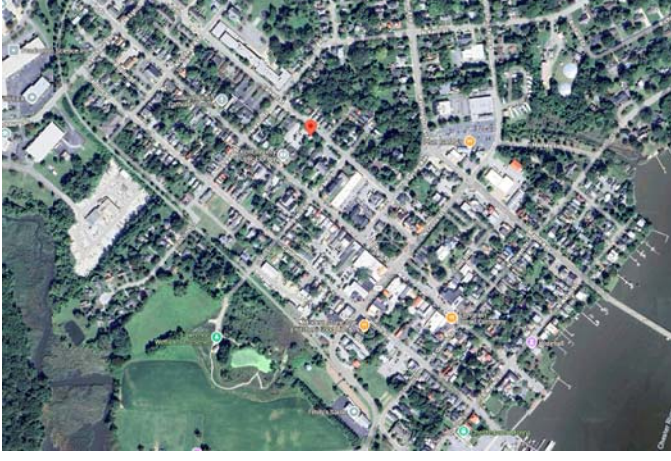
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ISSUES:

-	06.27.2025	ISSUE FOR OWNER REVIEW
NO.	DATE	DESCRIPTION

LOCATION MAP (NTS)

MAP 0203 GRID 0003 PARCEL 0859



PLAN NORTH

TRUE NORTH

PROJECT:

**Hearse House**  
Historic Rehabilitation

DRAWING TITLE:

EXISTING ELEVATIONS

SEAL & SIGNATURE

DATE: 02.11.2025

PROJECT NO.: 24-3404.01

SCALE: AS NOTED

DWG. BY: MD

CHK BY: BR

DWG NO.: A2.01.00

PROFESSIONAL CERTIFICATION:

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 17587, EXPIRATION DATE 01-06-2026.



