1.2 THE CONTRACTOR IS REQUIRED TO INSPECT THE SITE OF THE WORK AND TO EXAMINE AND BECOME FAMILIAR WITH THE FORM OF PROPOSAL, DRAWINGS AND ALL OTHER CONTRACT DOCUMENTS PERTAINING TO THE PROPOSED WORK. THE SUBMISSION OF A BID SHALL BE SUFFICIENT TO ESTABLISH THE PRESUMPTION THAT THE CONTRACTOR HAS INVESTIGATED THE SITE OF WORK AND IS SATISFIED AS TO ALL REASONABLE CONDITIONS TO BE ENCOUNTERED. QUALITY OF WORK TO BE PERFORMED AND MATERIALS FURNISHED IN THE COMPLETION THEREOF

1.3 "THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION," A.I.A. DOCUMENT A201. (FIFTEENTH EDITION, 1997) AS PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS, IS HEREBY MADE A PART OF THESE DOCUMENTS TO THE SAME EXTENT AS IF BOUND IN THEIR ENTIRETY HEREIN. IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR OR HAVE CONTROL OR CHARGE OVER THE ACTS AND OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR OR ANY OF HIS AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

1.4 NO DEVIATION FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.

1.5 THE CONTENTS OF THESE GENERAL NOTES SHALL NOT DETRACT ANY REQUIREMENTS FROM THE DRAWINGS.

1.6 ANY CIVIL. STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PREVENTION DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. SHOULD THERE BE A DISCREPANCY BETWEEN THE ARCHITECTURAL AND ENGINEERING DRAWINGS, SUCH A DISCREPANCY IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS SOLE EXPENSE.

1.7 THE CONTRACTOR SHALL PAY FOR ALL PERMITS, LICENSE FEES, AND INSPECTION FEES REQUIRED BY LAW AS APPLICABLE TO THE WORK UNDER THIS CONTRACT.

1.8 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND COORDINATION WITH OTHER CONTRACTORS AND THEIR WORK TO ENSURE COMPLIANCE WITH THE CONTRACT DOCUMENTS. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT WITH OTHER CONTRACTORS AND SUBCONTRACTORS, AS WELL AS SHOP DRAWINGS AS REVIEWED BY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

1.9 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BY TAKING MEASUREMENTS AT BUILDING SITE AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. ANY DISCREPANCIES SHALL BE REFEREED TO THE ARCHITECT FOR ADJUSTMENT PRIOR TO ANY WORK BEING PERFORMED.

1.10 WHEN ± SYMBOL IS ADJACENT TO A GIVEN DIMENSION, IT INDICATES THAT THE ACTUAL DIMENSION MAY VARY DUE TO EXISTING CONDITIONS; VERIFY BEFORE PROCEEDING WITH THE WORK. DISCREPANCIES BETWEEN THE GIVEN AND ACTUAL DIMENSIONS ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.

1.11 DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS TO BE FOLLOWED.

1.12 THE CONTRACTOR SHALL CONSULT THE ARCHITECT FOR THOSE ITEMS NOT DETAILED IN THE DRAWINGS. SHOULD ANY CONFLICT OCCUR IN DIMENSIONS, ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

1.13 THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS, LABOR AND EQUIPMENT DESCRIBED OR IMPLIED HEREIN. THE CONTRACTOR SHALL VISIT THE SITE AND EXAMINE THE NATURE AND BEARING CAPACITY OF THE SOIL. THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY CONDITIONS NOT IN ACCORDANCE WITH THE SUBSOIL INVESTIGATION REPORT PROVIDED BY THE OWNER PRIOR TO THE EXECUTION OF THIS WORK.

1.14 ALL MATERIALS FURNISHED ON THE JOB SITE SHALL BE NEW AND STORED IN SUCH MANNER AS TO PROTECT THEM FROM THE ELEMENTS.

1.15 EXCEPT FOR LONGER PERIODS OF GUARANTEE AS MAY BE SPECIFIED, THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS COVERED BY THIS CONTRACT FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK.

1.16 ALL DEMOLISHED MATERIALS SHALL BE DISPOSED OF OFF-SITE AND NOT ALLOWED TO ACCUMULATE. PROTECT PATH OF TRAVEL OF RUBBISH DISPOSAL THROUGH THE BUILDING.

1.17 THE OWNER SHALL REMOVE ALL EQUIPMENT TO BE RETAINED BEFORE THE CONTRACTOR STARTS HIS WORK. THE CONTRACTOR SHALL REMOVE ALL ITEMS NOTED OR INDICATED ON THE DRAWINGS AND AS REQUESTED TO ACCOMMODATE THE NEW WORK. ITEMS NOTED FOR SALVAGE SHALL BE REMOVED AND STORED IN AREA DESIGNATED BY A REPRESENTATIVE OF THE OWNER.

1.18 TEMPORARY DUST BARRIERS SHALL BE PROVIDED SUFFICIENT TO MAINTAIN A DUST FREE ENVIRONMENT IN THE REMAINDER OF THE BUILDING. NEATLY STORE ALL USABLE SURPLUS OF PROJECT SPECIFIC FINISH MATERIALS IN AN AREA DESIGNATED BY THE OWNER.

FLR.

LOC.

FLOOR

FACE OF

GENERAL

INSTLD. INSTALLED

CONTRACTOR

GYPSUM WALL

LAVATORY

LOCATION

MANUFACTURER

CEMENT BOARD

MOUNTED

OVERHEAD

OPPOSITE

PARTITION

PLYWD. PLYWOOD

REQ'D. REQUIRED

PLASTIC LAMINATE

PRESSURE TREATED

MASONRY OPENING

MOISTURE RESISTANT

1.19. ALL CONTRACTORS WORKING ON THE JOB ARE TO BE LICENSED AND INSURED.

ABOVE

ALUMINUM

ARCHITECT

BETWEEN

BOTTOM

CEILING

CONSTRUCTION

CONTINUOUS

DIAMETER

DIMENSION

DOOR

EACH

EQUAL

EXISTING

EXTERIOR

FINISH

DOUBLE JOISTS

CENTERLINE

APPROX. APPROXIMATE

ADJUSTABLE

ABOVE FINISH FLOOR

2.0 SITE WORK:

2.1 THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK SHALL VERIFY THE LOCATION OF ALL UTILITIES AND DETERMINE THEIR CAPACITIES.

2.2 ALL FILL MATERIAL SHALL BE SAND, CLEAN AND FREE OF ORGANIC DEBRIS.

2.3 THE CONTRACTOR SHALL MAINTAIN THE JOB SITE CLEAN AND FREE OF ALL TRASH, DEBRIS AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, ETC.

3.0 CONCRETE: (REFER TO STRUCTURAL NOTES)

4.0 CONCRETE UNIT MASONRY:

4.1 LOAD BEARING CONCRETE UNIT MASONRY SHALL BE GRADE N-1, ASTM C90 NORMAL WEIGHT, 8"X8"X16" THICK 2-CELL STRETCHER TYPE WITH VERTICAL MORTAR KEYS AT EACH END.

4.2 REFER TO STRUCTURAL NOTES FOR ADDITIONAL NOTES.

5.0 REINFORCING STEEL & METAL FABRICATIONS:

5.1 REFER TO STRUCTURAL DRAWINGS FOR REINFORCEMENT ADDITIONAL INFORMATION.

6.0 ROUGH CARPENTRY:

6.1 ALL LUMBER MUST BE SOUND, WELL SEASONED, WELL MANUFACTURED AND FREE FROM WARP. WOODWORK EXPOSED TO VIEW MUST BE DRESSED.

6.2 STRUCTURAL LIGHT FRAMING 2" TO 4" THICK AND WIDE SHALL BE SELECTED STRUCTURAL OR DENSE SELECT STRUCTURAL, NO.1 DENSE, NO.2 DENSE OR NO.3 DENSE. COMPLY WITH AMERICAN SOFTWOOD LUMBER GRADING PRODUCT STANDARD PS 20-10 AND STANDARD GRADING RULES FOR SOUTHERN PINE SPIB, 1997.

6.3 ALL WOOD IN CONTACT WITH CONCRETE, MASONRY, STUCCO OR EXPOSED TO WEATHER SHALL BE PRESSURE TREATED: AWPA C-2. WATERBORNE: AWPB LP-2 ABOVE GRADE AND AWPB LP-22 AT GRADE OIL-BORNE; AWPB LP-4 ABOVE GRADE AND AWPB LP-44 AT GRADE. DO NOT USE CREOSOTE PRESERVATIVE, SUBMIT PRESSURE TREATMENT PROCESS AND MATERIALS DATA SHEET FOR APPROVAL.

6.4 PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR CABINETS, EQUIPMENT, LIGHT FIXTURES. ELECTRICAL UNITS. A/C EQUIPMENT AND ALL OTHER ITEMS REQUIRING SAME.

6.5 ALL FASTENERS SHALL BE HOT-DIP GALVANIZED TO ASTM A15.3 BOLTS, SCREWS, NUTS AND WASHERS; SQUARE, ROUND AND HEX HEAD TO ANSI B18 AND ASTM A307. WOOD SCREWS SLOTTED HEAD TO ANSI B18 AND ASTM A549 NAILS ASTM A510 AND F541.

7.0 FINISHES:

7.1 THE OWNER SHALL SELECT PAINT AND ANY OTHER FINISHES AS REQUIRED. CLEARANCES SHALL BE ALLOWED FOR THE INSTALLATION OF VARIOUS THICKNESS.

7.2 ALL PAINT SHALL BE ONE (1) COAT PRIMER AND TWO (2) COATS PAINT. THE ARCHITECT MAY REQUEST SAMPLE SURFACES COLORS AND FINISHES TO MATCH MODULAR BUILDING AS DIRECTED BY OWNER.

7.3 ALL PAINT OR STAIN FINISHES SHALL BE SMOOTH WITHOUT RUNS, SKIPS, SAGS, OR ANY OTHER DEFECTS.

7.4 ALL FINISHES SHALL BE INSTALLED AND/OR APPLIED AS PER MANUFACTURER'S SPECIFICATIONS AND AS PER GOOD TRADE PRACTICES.

R.O.

TYP.

U.N.O.

SCHED. SCHEDULE

SECTION

SIMILAR

TYPICAL

WOOD

WINDOW

SQUARE FOOT/

SQUARE FEET

SPECIFICATION

UNLESS NOTED

VERIFY IN FIELD

OTHERWISE

TRIMMED OPENING

ROUGH OPENING

8.1 COORDINATE ALL DEMOLITION WORK SHOWN ON THESE DRAWINGS WITH ALL NEW WORK SHOWN ON ARCHITECTURAL, CIVIL, STRUCTURAL AND M.E.P. DRAWINGS.

8.2 CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING. REPAIR AND FINISH TO ANY/ALL MATERIALS/AREAS TO REMAIN WHICH MAY BECOME DAMAGED DURING DEMOLITION BY A DEMOLITION CONTRACTOR, AND ANY OTHER FORCES, CONTRACTED TO THE RESTORATION.

8.3 DEMOLITION CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN DEMOLITION OR REMOVING ITEMS IN BUILDING SO AS TO CAUSE THE LEAST AMOUNT OF PATCHWORK AND

8.4 EXISTING FINISHES AND OTHER MATERIALS TO REMAIN THAT ARE DAMAGED BY THE DEMOLITION CONTRACTOR DURING DEMOLITION AND REMOVAL PROCESS SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.

8.5 THE CONTRACTOR SHALL MAINTAIN THE WORK SITE CLEAN AND FREE OF ALL TRASH, DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, ETC.

8.6 ALL DEMOLISHED MATERIALS SHALL BE DISPOSED OF OFF-SITE AND NOT ALLOWED TO ACCUMULATE, PROTECT PATH OF TRAVEL OF RUBBISH DISPOSAL THROUGH THE BUILDING.

8.7 THE CONTRACTOR SHALL TAKE PRECAUTIONS DURING DEMOLITION TO AVOID REMOVING EXISTING STRUCTURAL COLUMNS AND BEAMS WHICH MAY BE CONCEALED AND WHICH ARE TO

8.8 CARE SHALL BE GIVEN TO THE PROTECTION OF EXISTING UTILITY LINES DURING EXCAVATION.

YMB

S

TION

TRUC.

----- CONSTRUCTION ABOVE

EXISTING PARTITION

EXISTING PARTITION

NEW 2x6 CONSTRUCTION

NEW 2x4 CONSTRUCTION

TO REMAIN

------ PROPERTY LINE

TO REMOVE

STEEL

FACEBRICK

CONCRETE

CONCRETE BLOCK

STUD/ROUGHING

BLOCKING

PLYWOOD

FINISH WOOD

PLASTIC LAMINATE

ON PLYWOOD

8.9 REMOVE WHERE MECHANICAL, ELECTRICAL AND PLUMBING WORK ARE REMOVED, ALL LINES. CONDUITS, DUCTS, ETC. SHALL BE CAPPED WITHIN THE WALLS, ABOVE FINISH CEILING OR BELOW FINISH FLOOR LINE. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL

8.10 REMOVE AND DISCARD ALL DEBRIS FROM SITE WITHIN BOUNDARY OF WORK.

9.0 ASBESTOS NOTES:

BARTON ROSS & PARTNERS, LLC. IS NOT RESPONSIBLE FOR THE DETERMINATION OF ASBESTOS CONTAINING BUILDING MATERIALS (ACBM) OR FOR METHODS OF ITS REMOVAL. QUESTIONS OR COMMENTS REGARDING ASBESTOS SHOULD BE DIRECTED TO THE OWNER OR THEIR DESIGNATED REPRESENTATIVE.

10.0 LEAD-BASED PAINT NOTES:

BARTON ROSS & PARTNERS, LLC. IS NOT RESPONSIBLE FOR THE DETERMINATION OF LEAD-BASED PAINT OR FOR METHODS OF ITS REMOVAL. QUESTIONS OR COMMENTS REGARDING LEAD-BASE PAINT SHOULD BE DIRECTED TO THE OWNER OR THEIR DESIGNATED REPRESENTATIVE.

11.0 MOLD NOTES:

BARTON ROSS & PARTNERS, LLC. IS NOT RESPONSIBLE FOR THE DETERMINATION OF MOLD CONTAINING BUILDING MATERIALS (ACBM) OR FOR METHODS OF ITS REMOVAL. QUESTIONS OR COMMENTS REGARDING MOLD SHOULD BE DIRECTED TO THE OWNER OR THEIR DESIGNATED REPRESENTATIVE. ARCHITECT MAKES NO WARRANTIES OR GUARANTEES, ESPECIALLY AS THEY RELATE TO WATER INTRUSION, CONTAMINATION, CONSTRUCTION MEANS AND METHODS, INSPECTION OR MAINTENANCE. ARCHITECT IS NOT RESPONSIBLE IN THE FUTURE WITH RESPECT TO ANY MOLD ISSUES THAT MIGHT ARISE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO KEEP A "WATERTIGHT" ENVIRONMENT THROUGHOUT DEMOLITION AND CONSTRUCTION (TO OBVIATE ANY POTENTIAL MOLD

12.0 RESTORATION NOTES:

12.1 ALL MATERIALS FURNISHED ON THE JOB SITE SHALL BE NEW AND STORED IN SUCH MANNER AS TO PROTECT THEM FROM THE ELEMENTS.

12.2 METAL PLATES, CONNECTORS, SCREWS, BOLTS, AND NAILS SHALL BE HOT DIPPED GALVANIZED AFTER THE FASTENER OR CONNECTOR HAS BEEN FABRICATED TO FORM A ZINC COATING NOT LESS THAN 1 OZ. PER SQ. FT., OR HOT DIPPED GALVANIZED WITH A MINIMUM COATING OF 1.8 OZ. PER SQ. FT. OF STEEL MEETING THE REQUIREMENTS OF ASTM A 90 TRIPLE SPOT TEST.

12.3 REMOVE ROOFING, FLASHING, PIPING, SUPPORTS AND FASTENERS. INSPECT ROOF DECK FOR STRUCTURAL DAMAGE AND ADVISE ARCHITECT AND STRUCTURAL ENGINEER IF DETERIORATED.

12.4 REMOVE ALL MOISTURE DAMAGED AND ROTTEN WOOD AND REPLACE UTILIZING SOUTHERN PINE WOOD MEMBERS TO MATCH EXISTING OR APPROVED EQUAL.

12.5 UPON COMPLETION OF THE PROJECT, COMPLETELY SPRAY ALL EXPOSED WOOD MEMBERS WITH "CABOT" WOODLIFE, MINIMUM 2 PASSES.

13.0 CODE NOTES:

13.1 ALL NEW CONSTRUCTION IS TO MEET OR EXCEED LOCAL BUILDING CODES, STATE BUILDING CODES, AND IBC LATEST EDITION. ALL NEW CONSTRUCTION IS TO BE PLUMB AND LEVEL, AND ALIGNED WITH THE EXISTING UNLESS NOTED OTHERWISE. ANY VARIATION SHOULD BE ADDRESSED WITH THE OWNER OR APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.

CODES REFERENCED (SOMERSET DEPARTMENT OF PLANNING & ZONING): EFFECTIVE MAY 29, 2023

LOCAL BUILDING CODES & ORDINANCES 2021 INTERNATIONAL BUILDING CODE (IBC) 2021 INTERNATIONAL RESIDENTIAL CODE (IRC) 2021 IECC INTERNATIONAL ENERGY CONSERVATION CODE ANSI A117.1 - 2003 2018 NFPA 1 FIRE CODE 2018 LIFE SAFETY CODE - NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) REFERENCED

STANDARDS 2021 INTERNATIONAL PLUMBING CODE NATIONAL STANDARD PLUMBING CODE NFPA 70 NATIONAL ELECTRICAL CODE HANDBOOK 2017 - NATIONAL ELECTRIC CODE INTERNATIONAL ENERGY CONSERVATION CODE

INTERNATIONAL MECHANICAL CODE - 2021 INTERNATIONAL FUEL GAS CODE

BATT INSULATION

RIGID INSULATION

DOWNSPOUT

FROST FREE

Ϋ́E

DRAWING

+ LEADER

FFHB HOSE BIB

FD FLOOR DRAIN

GYPSUM WALLBOARD

Hearse House

Historic Rehabilitation 408 High Street, Chestertown, Kent County, MD 21620



DIMENSION NOTES

GENERAL CONTRACTOR SHALL:

1. TAKE ALL EXTERIOR DIMENSION STRINGS FROM ONE OR MORE OF THE FOLLOWING: A) EXTERIOR FACE OF FOUNDATION WALL

B) EXTERIOR FACE OF STUDS IN EXTERIOR WALL. C) CENTERLINE OF NOTED BUILDING ELEMENTS (TRIMMED OPENINGS, ROOF RIDGES, ETC.).

2. TAKE ALL INTERIOR DIMENSIONS STRINGS (INTERIOR PARTITIONS AND DOORS) FROM ONE OR MORE OF THE FOLLOWING:

ARCHITECT AT ONCE. NO CHANGE IN PLANS, DETAILS OR DIMENSIONS IS ALLOWABLE WITHOUT THE CONSENT OF THE ARCHITECT.

A) FINISH FACE OF GWB. B) CENTERLINE OF NOTED BUILDING ELEMENTS (CORRIDOR, CEILING RIDGE, DOOR OPENINGS, WALLS, ETC.)

3. ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THESE DOCUMENTS MUST BE VERIFIED AT THE SITE BY THE GENERAL CONTRACTOR AND/OR VENDORS PRIOR TO ORDERING ANY MATERIAL OR DOING ANY WORK. ANY DISCREPANCIES OR ERRORS IN THE DOCUMENTS MUST BE REPORTED TO THE

4. DO NOT SCALE DRAWINGS, U.N.O.

BUILDING NOTES

GENERAL CONTRACTOR SHALL

BUILDING SECTIONS

WALL SECTIONS and

PLAN DETAILS

PARTITION TYPE

DETAILS (A,B,C)

(A,B,C)

INTERIOR ELEVATIONS

ELEVATION MARKER/

DOOR NUMBER

FINISH TYPE

WINDOW NUMBER

REVISION NUMBER

CONSTRUCTION NOTE

DIMENSION START POINT

and ELEVATIONS

I. SEE SHEETS GENERAL NOTES AND HISTORIC PRESERVATION NOTES FOR MORE DETAILED INFORMATION.

2. IN PREPARING EXISTING SURFACES FOR NEW PAINT, REPAIR ALL SURFACE IRREGULARITIES. ALL PROTRUSIONS ARE TO BE REMOVED AND ALL PITS, DENTS AND SCRATCHES ARE TO BE FILLED AND SANDED SMOOTH PRIOR TO PRIMING AND PAINTING. SAND ALL SEALED SURFACES TO REMOVE TOP COAT PRIOR TO PRIMING.

3. ALL FIXTURES, LIGHTING AND FINISH MATERIALS SHALL BE SELECTED BY THE OWNER AND SUPPLIED / INSTALLED BY THE CONTRACTOR.

4. NEATLY STORE ALL USABLE SURPLUS OF PROJECT SPECIFIC FINISH MATERIALS IN AN AREA DESIGNATED BY THE OWNER.

5. ENSURE THAT IN ACCORDANCE WITH IBC 2015, SECTION 806, ALL INTERIOR TRIM, INCLUDING WOOD TRIM AND EXPOSED PLYWOOD SURFACES, SHALL HAVE A MINIMUM CLASS C FLAME SPREAD AND SMOKE-DEVELOPED INDEX WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723. WHERE NECESSARY, CONTRACTOR SHALL TREAT, PRE-FINISH AND/OR PAINT WOOD SURFACES TO MEET A CLASS C RATING.

6. ALL CONTRACTORS WORKING ON THE JOB ARE TO BE LICENSED AND INSURED.

7. ALL NEW PARTITION WALLS AND ATTIC/ROOF INDICATED SHALL RECEIVE INSULATION AS FOLLOWS: 2X6 STUD WALLS - R-21 MIN. ROOF - R-49 MIN. BETWEEN USE SPACES - SOUND INSULATION

8. ALL NEW INTERIOR WALLS SHALL BE 5/8" THICK GWB UNLESS NOTED OTHERWISE. FIRE RATED ASSEMBLIES SHALL BE TYPE "X" GWB U.N.O.

9. ALL INTERIOR WALLS AT DAMP LOCATIONS SHALL RECEIVE 5/8" CEMENTITIOUS BACKER BOARD PRIOR TO TILE INSTALLATION. ALL OTHER SURFACES SHALL RECEIVE 5/8" MOISTURE RESISTANT WALL BOARD ON WALLS AND CEILINGS.

10. ALL INTERIOR GWB SURFACES TO RECEIVE AT LEAST ONE COAT OF LATEX PRIMER AND TWO COATS OF LATEX PAINT, U.N.O. ASSUME INTERIOR WALL, CEILING AND TRIM MATERIALS MAY BE DIFFERENT COLORS IN EACH ROOM. PROVIDE PAINT SAMPLES TO OWNER BEFORE PURCHASE. THE SURFACE OF EACH MATERIAL TO RECEIVE PAINT SHALL BE PREPARED AS INDICATED BY THE MANUFACTURER.

11. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION PERMITS, JOB SITE SAFETY, AND SAFEGUARDING THE CONSTRUCTION SITE AND ITS MATERIALS.

12. THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING FOR ALL WALL MOUNTED ACCESSORIES. THE CONTRACTOR SHALL PROVIDE ALL ADA REQUIRED HARDWARE, SIGNAGE, AND ACCESSORIES. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED FIRE EXTINGUISHERS PER NFPA 10, LATEST EDITION.

13. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING, PROVIDING AND INSTALLING ALL REQUIRED PANIC HARDWARE, WHETHER INDICATED ON DRAWINGS OR NOT.

14. THE CONTRACTOR SHALL PROVIDE SOUND INSULATION AT ALL TOILET ROOMS, MECHANICAL ROOMS, PLUMBING WALLS, ETC. AS REQUIRED BY CODE.

15. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL FOUNDATION, FRAMING, MECHANICAL, ELECTRICAL, HVAC, FIRE SPRINKLER, LIGHTING, AND PLUMBING DRAWINGS, CALCULATIONS AND SPECIFICATIONS SHOWING THE PROPOSED WORK AS REQUIRED BY THE BUILDING DEPARTMENT. NO WORK SHALL BE PERFORMED UNTIL WRITTEN APPROVAL HAS BEEN GIVEN BY THE BUILDING DEPARTMENT.

16. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXISTENCE, LOCATION, DEPTH, SIZE, AND MATERIALS OF ALL CONSTRUCTION SITE UTILITIES WELL IN ADVANCE OF CONSTRUCTION. CONTRACTOR TO PROTECT EXISTING UTILITIES THROUGHOUT THE PROJECT DURATION. THE CONTRACTOR SHALL COORDINATE ALL UTILITIES ON SITE WITH

DRAWING LIST

SHEET	DECODIDION				
OTILLT	DESCRIPTION	LATEST DATE	SHEET	DESCRIPTION	LATEST DATE
A0.00	COVER, SYMBOLS, GENERAL NOTES	JUNE 27, 2025			
A0.01	GENERAL NOTES	JUNE 27, 2025			
A0.02	HP NOTES	JUNE 27, 2025			
A0.03	DEMO PLANS	JUNE 27, 2025			
A0.04	DEMO PLANS	JUNE 27, 2025			
A1.01	FLOOR PLANS	JUNE 27, 2025			
A1.02	FLOOR PLANS	JUNE 27, 2025			
A2.01	FACADE ELEVATIONS	JUNE 27, 2025			
A3.00	DETAILS & SCHEDULES	JUNE 27, 2025			

Chestertown, Kent County, Maryland 21620

Hearse House

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T: (410) 778-3636 Ext. 2110 or admin@kentlib.org

ARCHITECT

STRUCTURAL

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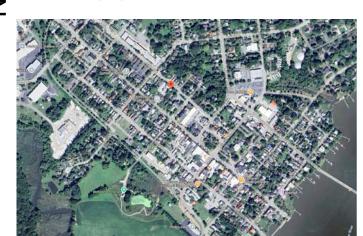
HE DRAWINGS, SPECIFICATIONS, AND OTHER DOCUMENTS PREPARED BY THE ARCHITECTS FO HIS PROJECT ARE INSTRUMENTS OF THE ARCHITECTS SERVICE FOR USE SOLELY WITH RESPONSION OF THIS SOLECT AND UNLESS OTHERWISE PROVIDED THE ARCHITECT SHALL BE DEEMED THOUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTIORY AND OTHER SERVICES OF THE SERVICE OF THE SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTIORY AND OTHER STATES AND SHALL RETAIN ALL COMMON LAW, STATUTIORY AND OTHER STATES AND SHALL RETAIN ALL COMMON LAW, STATUTIORY AND STATES AND SHALL RETAIN ALL COMMON LAW, STATUTIORY AND STATES AND SHALL RETAIN ALL COMMON LAW, STATUTIORY AND STATES AND SHALL RETAIN ALL COMMON LAW, STATUTIORY AND STATES AND SHALL RETAIN ALL COMMON LAW, STATUTIORY AND SHALL RETAIN ALL COM IESERVED RIGHTS, INCLUDING THE COPYRIGHT, THIS DRAWING, IN PRINTED AND ELECTRON ORM, MAY NOT BE USED, DUPLICATED, MODIFIED OR CHANGED IN ANY MANNER WITHOUT TI VRITTEN CONSENT OF BARTON ROSS & PARTNERS, LLC ARCHITECTS. ANY USE, DUPLICATIC MODIFICATION OR CHANGE WILL SUBJECT THE USER AND ITS AGENTS TO LIABILITY OF SUCH ACT

JECT MANUAL CONTENTS ARE CONSISTENT WITH THE SCOPE OF WORK PROVIDED FOR TH JECT. THE OWNER AND CONTRACTOR CERTIFY THAT ANY AND ALL DEFECTS, ERROR: INSISTENCIES OR OMISSIONS IN THE DRAWINGS OR SPECIFICATIONS OF WHICH IT IS AWARI R DIRECTLY OR BY NOTIFICATION FROM ANY SUBCONTRACTOR OR MATERIAL SUPPLIER I NOTED AND BROUGHT TO THE ARCHITECT'S ATTENTION. OWNER AND CONTRACTOR AT AFFIRM THAT NO CLAIMS SHALL BE MADE AGAINST BARTON ROSS & PARTNERS, REPRESENTATION OF THE SCOPE OF WORK DOCUMENTED HEREIN.

ACTORS AND SUBCONTRACTORS SHALL VERIFY ALL FIGURED DIMENSIONS AND CONDITI ANCIES PRIOR TO BIDDING OR COMMENCING CONSTRUCTION AND/OR FABRICATION OF A . ALWAYS CONSULT THE ARCHITECT FOR DESIGN INTENT AND SUBMIT SHOP DRAWINGS F PPROVAL, VERIFY ALL EXISTING DIMENSIONS IN THE FIELD, DO NOT SCALE THESE DRAWINGS.

06.27.2025 ISSUE FOR OWNER REVIEW NO. DATE DESCRIPTION

> MAP 0203 GRID 0003 PARCEL 0859 LOCATION MAP (NTS)



PLAN NORTH NORTH \

PROJECT:

DRAWING TITLE:

Hearse House Historic Rehabilitation

COVER

SEAL & SIGNATURE

PROJECT NO. AS NOTED

PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE

NOL

BRE

CL./

CLOS.

CLG.

CONST.

CONT.

DIA.

DIM.

EXIST.

EXT.

SCOPE OF WORK:

THIS PROJECT CONSISTS OF INTERIOR AND EXTERIOR REHABILITATION AT THE HEARSE HOUSE, A HISTORIC FRAME BUILDING OWNED BY KENT COUNTY LOCATED IN CHESTERTOWN, MARYLAND AND LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES

SCOPE INCLUDES (AND IS NOT NECESSARILY LIMITED TO) THE FOLLOWING GENERAL DESCRIPTION OF WORK:

- SELECTIVE INTERIOR DEMO
- 2. STRUCTURAL REINFORCEMENTS AS INDICATED
- 3. NEW WOOD FLOORING, WALL & CEILING FINISHES, INTERIOR DOORS, INTERIOR LIGHTING, EQUIPMENT, AND INTERIOR TRIM THROUGHOUT
- 4. NEW CUSTOM WOOD STORM WINDOWS AND ROLLER SHADES AS INDICATED ON THE DRAWINGS
- 5. NEW TOILET, HVAC REGISTERS, ELECTRICAL, AND ROOF REPAIRS AS INDICATED ON THE DRAWINGS 6. GENERAL CLEANUP, SEALING AND PAINTING OF ALL NEW SURFACES THROUGHOUT
- 7. SITE IMPROVEMENTS & LANDSCAPING (BY OTHERS)

NOTES:

1.0 GENERAL:

1.1 ALL WORK SHALL CONFORM TO THE CURRENT EDITIONS OF STATE BUILDING CODE AND LOCAL CODES, AND OTHER REGULATING AGENCIES WHICH HAVE AUTHORITY OVER ANY PORTIONS OF WORK. ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING GENERAL CONSTRUCTION, MECHANICAL, ELECTRICAL, PLUMBING OR RELATED WORK SHALL COMPLY WITH APPLICABLE SECTIONS OF THE CODES THAT HAVE

1.2 THE CONTRACTOR IS REQUIRED TO INSPECT THE SITE OF THE WORK AND TO EXAMINE AND BECOME FAMILIAR WITH THE FORM OF PROPOSAL. DRAWINGS AND ALL OTHER CONTRACT DOCUMENTS PERTAINING TO THE PROPOSED WORK. THE SUBMISSION OF A BID SHALL BE SUFFICIENT TO ESTABLISH THE PRESUMPTION THAT THE CONTRACTOR HAS INVESTIGATED THE SITE OF WORK AND IS SATISFIED AS TO ALL REASONABLE CONDITIONS TO BE ENCOUNTERED, QUALITY OF WORK TO BE PERFORMED AND MATERIALS FURNISHED IN THE COMPLETION THEREOF.

1.3 "THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, A.I.A. DOCUMENT A201, (FIFTEENTH EDITION, 1997) AS PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS. IS HEREBY MADE A PART OF THESE DOCUMENTS TO THE SAME EXTENT AS IF BOUND IN THEIR ENTIRETY HEREIN. IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR OR HAVE CONTROL OR CHARGE OVER THE ACTS AND OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR OR ANY OF THE AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF

1.4 NO DEVIATION FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.

1.5 THE CONTENTS OF THESE GENERAL NOTES SHALL NOT DETRACT ANY REQUIREMENTS FROM THE DRAWINGS.

1.6 ANY CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PREVENTION DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. SHOULD THERE BE A DISCREPANCY BETWEEN THE ARCHITECTURAL AND ENGINEERING DRAWINGS, SUCH A DISCREPANCY IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS SOLE EXPENSE.

1.7 THE CONTRACTOR SHALL PAY FOR ALL PERMITS, LICENSE FEES, AND INSPECTION FEES REQUIRED BY LAW AS APPLICABLE TO THE WORK UNDER THIS CONTRACT.

1.8 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND COORDINATION WITH OTHER CONTRACTORS AND THEIR WORK TO ENSURE VERIFY SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT WITH OTHER CONTRACTORS AND SUBCONTRACTORS, AS WELL AS SHOP DRAWINGS AS REVIEWED BY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.

1.9 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BY TAKING MEASUREMENTS AT BUILDING SITE AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. ANY DISCREPANCIES SHALL BE REFEREED TO THE ARCHITECT FOR ADJUSTMENT PRIOR TO ANY WORK BEING PERFORMED.

1.10 WHEN ± SYMBOL IS ADJACENT TO A GIVEN DIMENSION, IT INDICATES THAT THE ACTUAL DIMENSION MAY VARY DUE TO EXISTING CONDITIONS; VERIFY BEFORE PROCEEDING WITH THE WORK. DISCREPANCIES BETWEEN THE GIVEN AND ACTUAL DIMENSIONS ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR RESOLUTION BEFORE PROCEEDING WITH THE

1.11 DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS TO BE FOLLOWED.

NOT DETAILED IN THE DRAWINGS. SHOULD ANY CONFLICT OCCUR IN DIMENSIONS, ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

1.13 THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MATERIALS, LABOR AND EQUIPMENT DESCRIBED OR IMPLIED HEREIN. THE CONTRACTOR SHALL VISIT THE SITE AND EXAMINE THE NATURE AND BEARING CAPACITY OF THE SOIL. THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY CONDITIONS NOT IN ACCORDANCE WITH THE SUBSOIL INVESTIGATION REPORT PROVIDED BY THE OWNER PRIOR TO THE EXECUTION OF THIS WORK.

1.14 ALL MATERIALS FURNISHED ON THE JOB SITE SHALL BE NEW AND STORED IN SUCH MANNER AS TO PROTECT THEM FROM THE ELEMENTS.

1.15 EXCEPT FOR LONGER PERIODS OF GUARANTEE AS MAY BE SPECIFIED THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS COVERED BY THIS CONTRACT FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK.

1.16 ALL DEMOLISHED MATERIALS SHALL BE DISPOSED OF OFF-SITE AND NOT ALLOWED TO ACCUMULATE. PROTECT PATH OF TRAVEL OF RUBBISH DISPOSAL THROUGH THE BUILDING.

1.17 THE OWNER SHALL REMOVE ALL EQUIPMENT TO BE RETAINED BEFORE THE CONTRACTOR STARTS HIS WORK. THE CONTRACTOR SHALL REMOVE ALL ITEMS NOTED OR INDICATED ON THE DRAWINGS AND AS REQUESTED TO ACCOMMODATE THE NEW WORK. ITEMS NOTED FOR SALVAGE SHALL BE REMOVED AND STORED IN AREA DESIGNATED BY A REPRESENTATIVE OF THE OWNER.

1.18 TEMPORARY DUST BARRIERS SHALL BE PROVIDED SUFFICIENT TO MAINTAIN A DUST FREE ENVIRONMENT IN THE REMAINDER OF THE BUILDING. NEATLY STORE ALL USABLE SURPLUS OF PROJECT SPECIFIC FINISH MATERIALS IN AN AREA DESIGNATED BY THE OWNER.

1.19. ALL CONTRACTORS WORKING ON THE JOB ARE TO BE LICENSED AND INSURED.

2.0 SITE WORK:

2.1 THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK SHALL VERIFY THE LOCATION OF ALL UTILITIES AND DETERMINE THEIR CAPACITIES.

2.2 ALL FILL MATERIAL SHALL BE SAND, CLEAN AND FREE OF ORGANIC

2.3 THE CONTRACTOR SHALL MAINTAIN THE JOB SITE CLEAN AND FREE OF ALL TRASH, DEBRIS AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, ETC.

3.0 CONCRETE: (REFER TO STRUCTURAL NOTES)

4.0 CONCRETE UNIT MASONRY:

4.1 LOAD BEARING CONCRETE UNIT MASONRY SHALL BE GRADE N-1, ASTM C90 NORMAL WEIGHT, 8"X8"X16" THICK 2-CELL STRETCHER TYPE WITH VERTICAL MORTAR KEYS AT EACH END.

4.2 REFER TO STRUCTURAL NOTES FOR ADDITIONAL NOTES.

5.0 REINFORCING STEEL & METAL FABRICATIONS

5.1 REFER TO STRUCTURAL DRAWINGS FOR REINFORCEMENT ADDITIONAL INFORMATION.

6.0 ROUGH CARPENTRY:

6.1 ALL LUMBER MUST BE SOUND, WELL SEASONED, WELL MANUFACTURED AND FREE FROM WARP. WOODWORK EXPOSED TO VIEW MUST BE DRESSED.

6.2 STRUCTURAL LIGHT FRAMING 2" TO 4" THICK AND WIDE SHALL BE SELECTED STRUCTURAL OR DENSE SELECT STRUCTURAL, NO.1 DENSE, NO.2 DENSE OR NO.3 DENSE. COMPLY WITH AMERICAN SOFTWOOD LUMBER GRADING PRODUCT STANDARD PS 20-10 AND STANDARD GRADING RULES FOR SOUTHERN PINE SPIB, 1997.

6.3 ALL WOOD IN CONTACT WITH CONCRETE, MASONRY, STUCCO OR EXPOSED TO WEATHER SHALL BE PRESSURE TREATED; AWPA C-2. WATERBORNE: AWPB LP-2 ABOVE GRADE AND AWPB LP-22 AT GRADE OIL-BORNE; AWPB LP-4 ABOVE GRADE AND AWPB LP-44 AT GRADE. DO NOT USE CREOSOTE PRESERVATIVE, SUBMIT PRESSURE TREATMENT PROCESS AND MATERIALS DATA SHEET FOR APPROVAL.

6.4 PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR CABINETS, EQUIPMENT, LIGHT FIXTURES, ELECTRICAL UNITS, A/C EQUIPMENT AND ALL OTHER ITEMS REQUIRING SAME.

6.5 ALL FASTENERS SHALL BE HOT-DIP GALVANIZED TO ASTM A15.3 BOLTS, SCREWS, NUTS AND WASHERS; SQUARE, ROUND AND HEX HEAD TO ANSI B18 AND ASTM A307. WOOD SCREWS SLOTTED HEAD TO ANSI B18 AND ASTM A549 NAILS ASTM A510 AND F541.

7.0 FINISHES:

7.1 THE OWNER SHALL SELECT PAINT AND ANY OTHER FINISHES AS REQUIRED. CLEARANCES SHALL BE ALLOWED FOR THE INSTALLATION OF VARIOUS THICKNESS.

7.2 ALL PAINT SHALL BE ONE (1) COAT PRIMER AND TWO (2) COATS PAINT. THE ARCHITECT MAY REQUEST SAMPLE SURFACES COLORS AND FINISHES TO MATCH MODULAR BUILDING AS DIRECTED BY OWNER.

7.3 ALL PAINT OR STAIN FINISHES SHALL BE SMOOTH WITHOUT RUNS, SKIPS SAGS, OR ANY OTHER DEFECTS.

7.4 ALL FINISHES SHALL BE INSTALLED AND/OR APPLIED AS PER MANUFACTURER'S SPECIFICATIONS AND AS PER GOOD TRADE PRACTICES.

8.0 DEMOLITION NOTES:

8.1 COORDINATE ALL DEMOLITION WORK SHOWN ON THESE DRAWINGS WITH ALL NEW WORK SHOWN ON ARCHITECTURAL, CIVIL, STRUCTURAL AND M.E.P.

8.2 CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING, REPAIR AND FINISH TO ANY/ALL MATERIALS/AREAS TO REMAIN WHICH MAY BECOME DAMAGED DURING DEMOLITION BY A DEMOLITION CONTRACTOR, AND ANY OTHER FORCES, CONTRACTED TO THE RESTORATION.

8.3 DEMOLITION CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN DEMOLITION OR REMOVING ITEMS IN BUILDING SO AS TO CAUSE THE LEAST AMOUNT OF PATCHWORK AND REPAIR.

DAMAGED BY THE DEMOLITION CONTRACTOR DURING DEMOLITION AND REMOVAL PROCESS SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER. 8.5 THE CONTRACTOR SHALL MAINTAIN THE WORK SITE CLEAN AND FREE OF

8.4 EXISTING FINISHES AND OTHER MATERIALS TO REMAIN THAT ARE

ALL TRASH, DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, ETC.

ALLOWED TO ACCUMULATE. PROTECT PATH OF TRAVEL OF RUBBISH DISPOSAL THROUGH THE BUILDING. 8.7 THE CONTRACTOR SHALL TAKE PRECAUTIONS DURING DEMOLITION TO

8.6 ALL DEMOLISHED MATERIALS SHALL BE DISPOSED OF OFF-SITE AND NOT

AVOID REMOVING EXISTING STRUCTURAL COLUMNS AND BEAMS WHICH MAY BE CONCEALED AND WHICH ARE TO REMAIN.

8.8 CARE SHALL BE GIVEN TO THE PROTECTION OF EXISTING UTILITY LINES DURING DEMOLITION. 8.9 REMOVE WHERE MECHANICAL, ELECTRICAL AND PLUMBING WORK ARE

REMOVED, ALL LINES, CONDUITS, DUCTS, ETC. SHALL BE CAPPED WITHIN THE WALLS, ABOVE FINISH CEILING OR BELOW FINISH FLOOR LINE. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.

8.10 REMOVE AND DISCARD ALL DEBRIS FROM SITE WITHIN BOUNDARY OF

9.0 ASBESTOS NOTES:

BARTON ROSS & PARTNERS, LLC. IS NOT RESPONSIBLE FOR THE DETERMINATION OF ASBESTOS CONTAINING BUILDING MATERIALS (ACBM) OR FOR METHODS OF ITS REMOVAL. QUESTIONS OR COMMENTS REGARDING ASBESTOS SHOULD BE DIRECTED TO THE OWNER OR THEIR DESIGNATED REPRESENTATIVE.

10.0 LEAD-BASED PAINT NOTES:

BARTON ROSS & PARTNERS, LLC. IS NOT RESPONSIBLE FOR THE DETERMINATION OF LEAD-BASED PAINT OR FOR METHODS OF ITS REMOVAL. QUESTIONS OR COMMENTS REGARDING LEAD-BASE PAINT SHOULD BE DIRECTED TO THE OWNER OR THEIR DESIGNATED REPRESENTATIVE.

11.0 MOLD NOTES:

BARTON ROSS & PARTNERS, LLC. IS NOT RESPONSIBLE FOR THE DETERMINATION OF MOLD CONTAINING BUILDING MATERIALS (ACBM) OR FOR METHODS OF ITS REMOVAL. QUESTIONS OR COMMENTS REGARDING MOLD SHOULD BE DIRECTED TO THE OWNER OR THEIR DESIGNATED REPRESENTATIVE. ARCHITECT MAKES NO WARRANTIES OR GUARANTEES, ESPECIALLY AS THEY RELATE TO WATER INTRUSION, CONTAMINATION, CONSTRUCTION MEANS AND METHODS, INSPECTION OR MAINTENANCE. ARCHITECT IS NOT RESPONSIBLE IN THE FUTURE WITH RESPECT TO ANY MOLD ISSUES THAT MIGHT ARISE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO KEEP A "WATERTIGHT" ENVIRONMENT THROUGHOUT DEMOLITION AND CONSTRUCTION (TO OBVIATE ANY POTENTIAL MOLD SOURCES).

12.0 RESTORATION NOTES:

12.1 ALL MATERIALS FURNISHED ON THE JOB SITE SHALL BE NEW AND STORED IN SUCH MANNER AS TO PROTECT THEM FROM THE ELEMENTS.

12.2 METAL PLATES, CONNECTORS, SCREWS, BOLTS, AND NAILS SHALL BE HOT DIPPED GALVANIZED AFTER THE FASTENER OR CONNECTOR HAS BEEN FABRICATED TO FORM A ZINC COATING NOT LESS THAN 1 OZ. PER SQ. FT., OR HOT DIPPED GALVANIZED WITH A MINIMUM COATING OF 1.8 OZ. PER SQ. FT. OF STEEL MEETING THE REQUIREMENTS OF ASTM A 90 TRIPLE SPOT TEST.

12.3 REMOVE ROOFING, FLASHING, PIPING, SUPPORTS AND FASTENERS. INSPECT ROOF DECK FOR STRUCTURAL DAMAGE AND ADVISE ARCHITECT AND STRUCTURAL ENGINEER IF DETERIORATED.

12.4 REMOVE ALL MOISTURE DAMAGED AND ROTTEN WOOD AND REPLACE UTILIZING SOUTHERN PINE WOOD MEMBERS TO MATCH EXISTING OR

12.5 UPON COMPLETION OF THE PROJECT, COMPLETELY SPRAY ALL EXPOSED WOOD MEMBERS WITH "CABOT" WOODLIFE, MINIMUM 2 PASSES

13.0 CODE NOTES:

APPROVED EQUAL

13.1 ALL NEW CONSTRUCTION IS TO MEET OR EXCEED LOCAL BUILDING CODES, STATE BUILDING CODES, AND IBC LATEST EDITION. ALL NEW CONSTRUCTION IS TO BE PLUMB AND LEVEL, AND ALIGNED WITH THE EXISTING UNLESS NOTED OTHERWISE. ANY VARIATION SHOULD BE ADDRESSED WITH THE OWNER OR APPROVED BY THE ARCHITECT PRIOR TO

CODES REFERENCED (KENT COUNTY DEPARTMENT OF PLANNING & ZONING): EFFECTIVE MAY 29, 2023

LOCAL BUILDING CODES & ORDINANCES 2021 INTERNATIONAL BUILDING CODE (IBC) 2021 INTERNATIONAL RESIDENTIAL CODE (IRC) 2021 IECC INTERNATIONAL ENERGY CONSERVATION CODE ANSI A117.1 - 2003 2018 NFPA 1 FIRE CODE 2018 LIFE SAFETY CODE - NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) REFERENCED STANDARDS 2021 INTERNATIONAL PLUMBING CODE NATIONAL STANDARD PLUMBING CODE

NFPA 70 NATIONAL ELECTRICAL CODE HANDBOOK 2017 - NATIONAL ELECTRIC INTERNATIONAL ENERGY CONSERVATION CODE INTERNATIONAL MECHANICAL CODE - 2021 INTERNATIONAL FUEL GAS CODE

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STRUCTURAL

Silcox Engineering & Drafting, Inc. Jay Silcox, PE

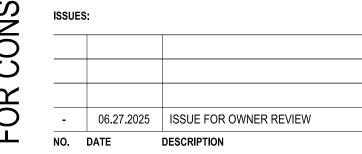
Chestertown, MD 21620 T: (410) 490-1839 or Jay@jhsilcoxpe.com

312 Park Row, Ste. B

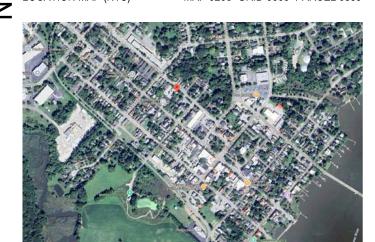
HE DRAWINGS, SPECIFICATIONS, AND OTHER DOCUMENTS PREPARED BY THE ARCHITECTS FO HIS PROJECT ARE INSTRUMENTS OF THE ARCHITECTS SERVICE FOR USE SOLELY WITH RESPO O THIS PROJECT AND UNLESS OTHERWISE PROVIDED THE ARCHITECT SHALL BE DEEMED TH JUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHE ESERVED RIGHTS, INCLUDING THE COPYRIGHT. THIS DRAWING, IN PRINTED AND ELECTRO ORM, MAY NOT BE USED, DUPLICATED, MODIFIED OR CHANGED IN ANY MANNER WITHOUT MODIFICATION OR CHANGE WILL SUBJECT THE USER AND ITS AGENTS TO LIABILITY OF SUCH ACT CT. THE OWNER AND CONTRACTOR CERTIFY THAT ANY AND ALL DEFECTS, ERROF SISTENCIES OR OMISSIONS IN THE DRAWINGS OR SPECIFICATIONS OF WHICH IT IS AWAF

DIRECTLY OR BY NOTIFICATION FROM ANY SUBCONTRACTOR OR MATERIAL SUPPLIER I

PPROVAL, VERIFY ALL EXISTING DIMENSIONS IN THE FIELD, DO NOT SCALE THESE DRAWINGS



LOCATION MAP (NTS) MAP 0203 GRID 0003 PARCEL 0859



PLAN NORTH NORTH

PROJECT:

Hearse House Historic Rehabilitation

DRAWING TITLE:

GENERAL NOTES

SEAL & SIGNATURE

ROJECT NO.

PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE

REHABILITATION IS DEFINED (WITHIN THE THE SECRETARY OF THE INTERIOR'S STANDARDS) AS "THE PROCESS OF RETURNING A PROPERTY TO A STATE OF UTILITY, THROUGH REPAIR OR ALTERATION, WHICH MAKES POSSIBLE AN EFFICIENT CONTEMPORARY USE WHILE PRESERVING THOSE PORTIONS AND FEATURES OF THE PROPERTY WHICH ARE SIGNIFICANT TO ITS HISTORIC, ARCHITECTURAL AND CULTURAL VALUES".

STANDARDS FOR REHABILITATING HISTORIC BUILDINGS

- 1. A PROPERTY WILL BE USED AS IT WAS HISTORICALLY OR BE GIVEN A NEW USE THAT REQUIRES MINIMAL CHANGE TO ITS DISTINCTIVE MATERIALS, FEATURES, SPACES AND SPATIAL RELATIONSHIPS.
- 2. THE HISTORIC CHARACTER OF A PROPERTY WILL BE RETAINED AND PRESERVED. THE REMOVAL OF DISTINCTIVE MATERIALS OR ALTERATION OF FEATURES, SPACES AND SPATIAL RELATIONSHIPS THAT CHARACTERIZE A PROPERTY
- 3. EACH PROPERTY WILL BE RECOGNIZED AS A PHYSICAL RECORD OF ITS TIME, PLACE AND USE. CHANGES THAT CREATE A FALSE SENSE OF HISTORICAL DEVELOPMENT, SUCH AS ADDING CONJECTURAL FEATURES OR ELEMENTS FROM OTHER HISTORIC PROPERTIES, WILL NOT BE UNDERTAKEN.
- 4. CHANGES TO A PROPERTY THAT HAVE ACQUIRED HISTORIC SIGNIFICANCE IN THEIR OWN RIGHT WILL BE RETAINED AND **PRESERVED**
- 5. DISTINCTIVE MATERIALS, FEATURES, FINISHES AND CONSTRUCTION TECHNIQUES OR EXAMPLES OF CRAFTSMANSHIP THAT CHARACTERIZE A PROPERTY WILL BE PRESERVED.
- 6. DETERIORATED HISTORIC FEATURES WILL BE REPAIRED RATHER THAN REPLACED. WHERE THE SEVERITY OF DETERIORATION REQUIRES REPLACEMENT OF A DISTINCTIVE FEATURE, THE NEW FEATURE WILL MATCH THE OLD IN DESIGN, COLOR, TEXTURE AND WHERE POSSIBLE, MATERIALS. REPLACEMENT OF MISSING FEATURES WILL BE SUBSTANTIATED BY DOCUMENTARY AND PHYSICAL EVIDENCE.
- 7. CHEMICAL OR PHYSICAL TREATMENTS, IF APPROPRIATE, WILL BE UNDERTAKEN USING THE GENTLEST MEANS POSSIBLE. TREATMENTS THAT CAUSE DAMAGE TO HISTORIC MATERIALS WILL NOT BE USED.
- ARCHEOLOGICAL RESOURCES WILL BE PROTECTED AND PRESERVED IN PLACE. IF SUCH RESOURCES MUST BE
- DISTURBED, MITIGATION MEASURES WILL BE UNDERTAKEN. 9. NEW ADDITIONS, EXTERIOR ALTERATIONS, OR RELATED NEW CONSTRUCTION WILL NOT DESTROY HISTORIC MATERIALS, FEATURES AND SPATIAL RELATIONSHIPS THAT CHARACTERIZE THE PROPERTY. THE NEW WORK WILL BE DIFFERENTIATED FROM THE OLD AND WILL BE COMPATIBLE WITH THE HISTORIC MATERIALS, FEATURES, SIZE, SCALE
- AND PROPORTION, AND MASSING TO PROTECT THE INTEGRITY OF THE PROPERTY AND ITS ENVIRONMENT. 10. NEW ADDITIONS AND ADJACENT OR RELATED NEW CONSTRUCTION WILL BE UNDERTAKEN IN SUCH A MANNER THAT, IF REMOVED IN THE FUTURE, THE ESSENTIAL FORM AND INTEGRITY OF THE HISTORIC PROPERTY AND ITS ENVIRONMENT WOULD BE UNIMPAIRED.

GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS

EXTERIOR MATERIALS (MASONRY AND WOOD)

MASONRY

IDENTIFY, RETAIN AND PRESERV

IDENTIFYING, RETAINING, AND PRESERVING MASONRY FEATURES THAT ARE IMPORTANT IN DEFINING THE OVERALL HISTORIC CHARACTER OF THE BUILDING SUCH AS WALLS, BRACKETS, RAILINGS, CORNICES, WINDOW ARCHITRAVES, DOOR PEDIMENTS. STEPS, AND COLUMNS; AND DETAILS SUCH AS TOOLING AND BONDING PATTERNS, COATINGS, AND COLOR

NOT RECOMMENDED

REMOVING OR RADICALLY CHANGING MASONRY FEATURES WHICH ARE IMPORTANT IN DEFINING THE OVERALL HISTORIC CHARACTER OF THE BUILDING SO THAT, AS A RESULT, THE CHARACTER IS DIMINISHED. REPLACING OR REBUILDING A MAJOR PORTION OF EXTERIOR MASONRY WALLS THAT COULD BE REPAIRED SO THAT, AS A RESULT, THE BUILDING IS NO LONGER HISTORIC AND IS ESSENTIALLY NEW CONSTRUCTION. APPLYING PAINT OR OTHER COATINGS SUCH AS STUCCO TO MASONRY THAT HAS BEEN HISTORICALLY UNPAINTED OR UNCOATED TO CREATE A NEW APPEARANCE. REMOVING PAINT FROM HISTORICALLY PAINTED MASONRY. RADICALLY CHANGING THE TYPE OF PAINT OR COATING OR ITS COLOR.

PROTECT AND MAINTAIN

PROTECTING AND MAINTAINING MASONRY BY PROVIDING PROPER DRAINAGE SO THAT WATER DOES NOT STAND ON FLAT. HORIZONTAL SURFACES OR ACCUMULATE IN CURVED DECORATIVE FEATURES. CLEANING MASONRY ONLY WHEN NECESSARY TO HALT DETERIORATION OR REMOVE HEAVY SOILING, CARRYING OUT MASONRY SURFACE CLEANING TESTS AFTER IT HAS BEEN DETERMINED THAT SUCH CLEANING IS APPROPRIATE. TESTS SHOULD BE OBSERVED OVER A SUFFICIENT PERIOD OF TIME SO THAT BOTH THE IMMEDIATE AND THE LONG RANGE EFFECTS ARE KNOWN TO ENABLE SELECTION OF THE GENTLEST METHOD POSSIBLE. CLEANING MASONRY SURFACES WITH THE GENTLEST METHOD POSSIBLE, SUCH AS LOW PRESSURE WATER AND DETERGENTS, USING NATURAL BRISTLE BRUSHES. INSPECTING PAINTED MASONRY SURFACES TO DETERMINE WHETHER REPAINTING IS NECESSARY. REMOVING DAMAGED OR DETERIORATED PAINT ONLY TO THE NEXT SOUND LAYER USING THE GENTLEST METHOD POSSIBLE (E.G., HAND SCRAPING) PRIOR TO REPAINTING. APPLYING COMPATIBLE PAINT COATING SYSTEMS FOLLOWING PROPER SURFACE PREPARATION. REPAINTING WITH COLORS THAT ARE HISTORICALLY APPROPRIATE TO THE BUILDING AND DISTRICT. EVALUATING THE OVERALL CONDITION OF THE MASONRY TO DETERMINE WHETHER MORE THAN PROTECTION AND MAINTENANCE ARE REQUIRED, THAT IS, IF REPAIRS TO THE MASONRY FEATURES WILL BE NECESSARY.

FAILING TO EVALUATE AND TREAT THE VARIOUS CAUSES OF MORTAR JOINT DETERIORATION SUCH AS LEAKING ROOFS OR GUTTERS, DIFFERENTIAL SETTLEMENT OF THE BUILDING, CAPILLARY ACTION, OR EXTREME WEATHER EXPOSURE. CLEANING MASONRY SURFACES WHEN THEY ARE NOT HEAVILY SOILED TO CREATE A NEW APPEARANCE, THUS NEEDLESSLY INTRODUCING CHEMICALS OR MOISTURE INTO HISTORIC MATERIALS. CLEANING MASONRY SURFACES WITHOUT TESTING OR WITHOUT SUFFICIENT TIME FOR THE TESTING RESULTS TO BE OF VALUE. HISTORIC BRICK DAMAGED BY SANDBLASTING. SANDBLASTING BRICK OR STONE SURFACES USING DRY OR WET GRIT OR OTHER ABRASIVES. THESE METHODS OF CLEANING PERMANENTLY ERODE THE SURFACE OF THE MATERIAL AND ACCELERATE DETERIORATION. USING A CLEANING METHOD THAT INVOLVES WATER OR LIQUID CHEMICAL SOLUTIONS WHEN THERE IS ANY POSSIBILITY OF FREEZING TEMPERATURES. CLEANING WITH CHEMICAL PRODUCTS THAT WILL DAMAGE MASONRY, SUCH AS USING ACID ON LIMESTONE OR MARBLE, OR LEAVING CHEMICALS ON MASONRY SURFACES. APPLYING HIGH PRESSURE WATER CLEANING METHODS THAT WILL DAMAGE HISTORIC MASONRY AND THE MORTAR JOINTS. REMOVING PAINT THAT IS FIRMLY ADHERING TO, AND THUS PROTECTING, MASONRY SURFACES. USING METHODS OF REMOVING PAINT WHICH ARE DESTRUCTIVE TO MASONRY, SUCH AS SANDBLASTING, APPLICATION OF CAUSTIC SOLUTIONS, OR HIGH PRESSURE WATER BLASTING. FAILING TO FOLLOW MANUFACTURERS' PRODUCT AND APPLICATION INSTRUCTIONS WHEN REPAINTING MASONRY. USING NEW PAINT COLORS THAT ARE INAPPROPRIATE TO THE HISTORIC BUILDING AND DISTRICT. FAILING TO UNDERTAKE ADEQUATE MEASURES TO ASSURE THE PROTECTION OF MASONRY FEATURES.

REPAIRING MASONRY WALLS AND OTHER MASONRY FEATURES BY REPOINTING THE MORTAR JOINTS WHERE THERE IS EVIDENCE OF DETERIORATION SUCH AS DISINTEGRATING MORTAR, CRACKS IN MORTAR JOINTS, LOOSE BRICKS, DAMP WALLS, OR DAMAGED PLASTERWORK. REMOVING DETERIORATED MORTAR BY CAREFULLY HAND-RAKING THE JOINTS TO AVOID DAMAGING THE MASONRY. DUPLICATING OLD MORTAR IN STRENGTH, COMPOSITION, COLOR, AND TEXTURE. DUPLICATING OLD MORTAR JOINTS IN WIDTH AND IN JOINT PROFILE. REPAIRING STUCCO BY REMOVING THE DAMAGED MATERIAL AND PATCHING WITH NEW STUCCO THAT DUPLICATES THE OLD IN STRENGTH, COMPOSITION, COLOR, AND

USING MUD PLASTER AS A SURFACE COATING OVER UNFIRED, UNSTABILIZED ADOBE BECAUSE THE MUD PLASTER WILL BOND TO THE ADOBE. CUTTING DAMAGED CONCRETE BACK TO REMOVE THE SOURCE OF DETERIORATION (OFTEN CORROSION ON METAL REINFORCEMENT BARS). THE NEW PATCH MUST BE APPLIED CAREFULLY SO IT WILL BOND SATISFACTORILY WITH, AND MATCH, THE HISTORIC CONCRETE. REPLACEMENT STONES TOOLED TO MATCH ORIGINAL.

REPAIRING MASONRY FEATURES BY PATCHING, PIECING-IN, OR CONSOLIDATING THE MASONRY USING RECOGNIZED PRESERVATION METHODS. REPAIR MAY ALSO INCLUDE THE LIMITED REPLACEMENT IN KIND-OR WITH COMPATIBLE SUBSTITUTE MATERIAL--OF THOSE EXTENSIVELY DETERIORATED OR MISSING PARTS OF MASONRY FEATURES WHEN THERE ARE SURVIVING PROTOTYPES SUCH AS TERRA-COTTA BRACKETS OR STONE BALUSTERS. APPLYING NEW OR NON-HISTORIC SURFACE TREATMENTS SUCH AS WATER-REPELLENT COATINGS TO MASONRY ONLY AFTER REPOINTING AND ONLY IF MASONRY REPAIRS HAVE FAILED TO ARREST WATER PENETRATION PROBLEMS

REMOVING NON-DETERIORATED MORTAR FROM SOUND JOINTS AND THEN REPOINTING THE ENTIRE BUILDING TO ACHIEVE A UNIFORM APPEARANCE, USING ELECTRIC SAWS AND HAMMERS RATHER THAN HAND TOOLS TO REMOVE DETERIORATED MORTAR FROM JOINTS PRIOR TO REPOINTING. REPOINTING WITH MORTAR OF HIGH PORTLAND CEMENT CONTENT (UNLESS IT IS THE CONTENT OF THE HISTORIC MORTAR). THIS CAN OFTEN CREATE A BOND THAT IS STRONGER THAN THE HISTORIC

MATERIAL AND CAN CAUSE DAMAGE AS A RESULT OF THE DIFFERING COEFFICIENT OF EXPANSION AND THE DIFFERING POROSITY OF THE MATERIAL AND THE MORTAR. REPOINTING WITH A SYNTHETIC CAULKING COMPOUND. USING A "SCRUB" COATING TECHNIQUE TO REPOINT INSTEAD OF TRADITIONAL REPOINTING METHODS. CHANGING THE WIDTH OR JOINT PROFILE WHEN REPOINTING. REMOVING SOUND STUCCO; OR REPAIRING WITH NEW STUCCO THAT IS STRONGER THAN THE HISTORIC MATERIAL OR DOES NOT CONVEY THE SAME VISUAL APPEARANCE. APPLYING CEMENT STUCCO TO UNFIRED, UNSTABILIZED ADOBE, BECAUSE THE CEMENT STUCCO WILL NOT BOND PROPERLY. MOISTURE CAN BECOME ENTRAPPED BETWEEN MATERIALS, RESULTING IN ACCELERATED DETERIORATION OF THE ADOBE. PATCHING CONCRETE WITHOUT REMOVING THE SOURCE OF DETERIORATION. REPLACING AN ENTIRE MASONRY FEATURE SUCH AS A CORNICE OR BALUSTRADE WHEN REPAIR OF THE MASONRY AND LIMITED REPLACEMENT OF DETERIORATED OF MISSING PARTS IS APPROPRIATE. USING A SUBSTITUTE MATERIAL FOR THE REPLACEMENT PART THAT DOES NOT CONVEY THE VISUAL APPEARANCE OF THE SURVIVING PARTS OF THE MASONRY FEATURE OR THAT IS PHYSICALLY OR CHEMICALLY INCOMPATIBLE APPLYING WATERPROOF, WATER REPELLENT, OR NON-HISTORIC COATINGS SUCH AS STUCCO TO MASONRY AS A SUBSTITUTE FOR REPOINTING AND MASONRY REPAIRS. COATINGS ARE FREQUENTLY UNNECESSARY, EXPENSIVE, AND MAY CHANGE THE APPEARANCE OF HISTORIC MASONRY AS WELL AS ACCELERATE ITS DETERIORATION.

REPLACE

REPLACING IN KIND AN ENTIRE MASONRY FEATURE THAT IS TOO DETERIORATED TO REPAIR-IF THE OVERALL FORM AND DETAILING ARE STILL EVIDENT--USING THE PHYSICAL EVIDENCE AS A MODEL TO REPRODUCE THE FEATURE. EXAMPLES CAN INCLUDE LARGE SECTIONS OF A WALL, A CORNICE, BALUSTRADE, COLUMN, OR STAIRWAY. IF USING THE SAME KIND OF MATERIAL IS NOT TECHNICALLY OR ECONOMICALLY FEASIBLE, THEN A COMPATIBLE SUBSTITUTE MATERIAL MAY BE CONSIDERED.

NOT RECOMMENDED:

REMOVING A MASONRY FEATURE THAT IS UN-REPAIRABLE AND NOT REPLACING IT; OR REPLACING IT WITH A NEW FEATURE THAT DOES NOT CONVEY THE SAME VISUAL APPEARANCE.

IDENTIFY, RETAIN AND PRESERV

RECOMMENDED

NOT RECOMMENDED:

IDENTIFYING, RETAINING, AND PRESERVING WOOD FEATURES THAT ARE IMPORTANT IN DEFINING THE OVERALL HISTORIC CHARACTER OF THE BUILDING SUCH AS SIDING, CORNICES, BRACKETS, WINDOW ARCHITRAVES, AND DOORWAY PEDIMENTS; AND THEIR PAINTS, FINISHES, AND COLORS.

REMOVING OR RADICALLY CHANGING WOOD FEATURES WHICH ARE IMPORTANT IN DEFINING THE OVERALL HISTORIC CHARACTER OF THE BUILDING SO THAT, AS A RESULT, THE CHARACTER IS DIMINISHED. REMOVING A MAJOR PORTION OF THE HISTORIC WOOD FROM A FACADE INSTEAD OF REPAIRING OR REPLACING ONLY THE DETERIORATED WOOD, THEN RECONSTRUCTING THE FACADE WITH NEW MATERIAL IN ORDER TO ACHIEVE A UNIFORM OR "IMPROVED" APPEARANCE. WOOD FEATURES INAPPROPRIATELY STRIPPED OF TRADITIONAL PAINTED FINISH. RADICALLY CHANGING THE TYPE OF FINISH OR ITS COLOR OR ACCENT SCHEME SO THAT THE HISTORIC CHARACTER OF THE EXTERIOR IS DIMINISHED. STRIPPING HISTORICALLY PAINTED SURFACES TO BARE WOOD, THEN APPLYING CLEAR FINISHES OR STAINS IN ORDER TO CREATE A "NATURAL LOOK." STRIPPING PAINT OR VARNISH TO BARE WOOD RATHER THAN REPAIRING OR REAPPLYING A SPECIAL FINISH, I.E., A GRAIN FINISH TO AN EXTERIOR WOOD FEATURE SUCH AS A FRONT DOOR.

PROTECTING AND MAINTAINING WOOD FEATURES BY PROVIDING PROPER DRAINAGE SO THAT WATER IS NOT ALLOWED TO STAND ON FLAT, HORIZONTAL SURFACES OR ACCUMULATE IN DECORATIVE FEATURES. APPLYING CHEMICAL PRESERVATIVES TO WOOD FEATURES SUCH AS BEAM ENDS OR OUTRIGGERS THAT ARE EXPOSED TO DECAY HAZARDS AND ARE RADITIONALLY UNPAINTED. RETAINING COATINGS SUCH AS PAINT THAT HELP PROTECT THE WOOD FROM MOISTURE AND ULTRAVIOLET LIGHT. PAINT REMOVAL SHOULD BE CONSIDERED ONLY WHERE THERE IS PAINT SURFACE DETERIORATION AND AS PART OF AN OVERALL MAINTENANCE PROGRAM WHICH INVOLVES REPAINTING OR APPLYING OTHER APPROPRIATE PROTECTIVE COATINGS.

INSPECTING PAINTED WOOD SURFACES TO DETERMINE WHETHER REPAINTING IS NECESSARY OR IF CLEANING IS ALL THAT IS REQUIRED. REMOVING DAMAGED OR DETERIORATED PAINT TO THE NEXT SOUND LAYER USING THE GENTLEST METHOD POSSIBLE (HAND SCRAPING AND HAND SANDING), THEN REPAINTING. USING WITH CARE ELECTRIC HOT-AIR GUNS ON DECORATIVE WOOD FEATURES AND ELECTRIC HEAT PLATES ON FLAT WOOD SURFACES WHEN PAINT IS SO DETERIORATED THAT TOTAL REMOVAL IS NECESSARY PRIOR TO REPAINTING. USING CHEMICAL STRIPPERS PRIMARILY TO SUPPLEMENT OTHER METHODS SUCH AS HAND SCRAPING, HAND SANDING AND THE ABOVE-RECOMMENDED THERMAL DEVICES. DETACHABLE WOODEN ELEMENTS SUCH AS SHUTTERS, DOORS, AND COLUMNS MAY--WITH THE PROPER SAFEGUARDS--BE CHEMICALLY DIP-STRIPPED. APPLYING COMPATIBLE PAINT COATING SYSTEMS FOLLOWING PROPER SURFACE PREPARATION. REPAINTING WITH COLORS THAT ARE APPROPRIATE TO THE HISTORIC BUILDING AND DISTRICT. EVALUATING THE OVERALL CONDITION OF THE WOOD TO DETERMINE WHETHER MORE THAN PROTECTION AND MAINTENANCE ARE REQUIRED, THAT IS, IF REPAIRS TO WOOD FEATURES WILL BE NECESSARY.

NOT RECOMMENDED: GUTTERS, CRACKS AND HOLES IN SIDING, DETERIORATED CAULKING IN JOINTS AND SEAMS, PLANT MATERIAL GROWING TOO CLOSE TO WOOD SURFACES OR INSECT OR FUNGUS INFESTATION. USING CHEMICAL PRESERVATIVES SUCH AS CREOSOTE WHICH CAN CHANGE THE APPEARANCE OF WOOD FEATURES UNLESS THEY WERE USED HISTORICALLY. STRIPPING PAINT OR OTHER COATINGS TO REVEAL BARE WOOD, THUS EXPOSING HISTORICALLY COATED SURFACES TO THE EFFECTS OF ACCELERATED WEATHERING. REMOVING PAINT THAT IS FIRMLY ADHERING TO, AND THUS, PROTECTING WOOD SURFACES. USING DESTRUCTIVE PAINT REMOVAL METHODS SUCH AS A PROPANE OR BUTANE TORCHES, SANDBLASTING OR WATER BLASTING. THESE METHODS CAN IRREVERSIBLY DAMAGE HISTORIC WOODWORK. USING THERMAL DEVICES IMPROPERLY SO THAT THE HISTORIC WOODWORK IS SCORCHED. FAILING TO NEUTRALIZE THE WOOD THOROUGHLY AFTER USING CHEMICALS SO THAT NEW PAINT DOES NOT ADHERE. ALLOWING DETACHABLE WOOD FEATURES TO SOAK TOO LONG IN A CAUSTIC

PRODUCT AND APPLICATION INSTRUCTIONS WHEN REPAINTING EXTERIOR WOODWORK. USING NEW COLORS THAT ARE INAPPROPRIATE TO THE HISTORIC BUILDING OR DISTRICT. FAILING TO UNDERTAKE ADEQUATE MEASURES TO ASSURE THE PROTECTION OF WOOD FEATURES.

SOLUTION SO THAT THE WOOD GRAIN IS RAISED AND THE SURFACE ROUGHENED. FAILING TO FOLLOW MANUFACTURERS'

RECOMMENDED:

REPAIRING WOOD FEATURES BY PATCHING, PIECING-IN, CONSOLIDATING, OR OTHERWISE REINFORCING THE WOOD USING RECOGNIZED PRESERVATION METHODS. REPAIR MAY ALSO INCLUDE THE LIMITED REPLACEMENT IN KIND--OR WITH COMPATIBLE SUBSTITUTE MATERIAL-OF THOSE EXTENSIVELY DETERIORATED OR MISSING PARTS OF FEATURES WHERE THERE ARE SURVIVING PROTOTYPES SUCH AS BRACKETS, MOLDING, OR SECTIONS OF SIDING.

NOT RECOMMENDED:

REPLACING AN ENTIRE WOOD FEATURE SUCH AS A CORNICE OR WALL WHEN REPAIR OF THE WOOD AND LIMITED REPLACEMENT OF DETERIORATED OR MISSING PARTS ARE APPROPRIATE. USING SUBSTITUTE MATERIAL FOR THE REPLACEMENT PART THAT DOES NOT CONVEY THE VISUAL APPEARANCE OF THE SURVIVING PARTS OF THE WOOD FEATURE OR THAT IS PHYSICALLY OR CHEMICALLY INCOMPATIBLE.

REPLACE

RECOMMENDED: REPLACING IN KIND AN ENTIRE WOOD FEATURE THAT IS TOO DETERIORATED TO REPAIR--IF THE OVERALL FORM AND DETAILING ARE STILL EVIDENT--USING THE PHYSICAL EVIDENCE AS A MODEL TO REPRODUCE THE FEATURE. EXAMPLES OF WOOD FEATURES INCLUDE A CORNICE, ENTABLATURE OR BALUSTRADE. IF USING THE SAME KIND OF MATERIAL IS NOT TECHNICALLY OR ECONOMICALLY FEASIBLE, THEN A COMPATIBLE SUBSTITUTE MATERIAL MAY BE CONSIDERED. NOT RECOMMENDED:

REMOVING AN ENTIRE WOOD FEATURE THAT IS UN-REPAIRABLE AND NOT REPLACING IT; OR REPLACING IT WITH A NEW FEATURE THAT DOES NOT CONVEY THE SAME VISUAL APPEARANCE.

DESIGN FOR THE REPLACEMENT OF MISSING HISTORIC FEATURES

RECOMMENDED: DESIGNING AND INSTALLING A NEW WOOD FEATURE SUCH AS A CORNICE OR DOORWAY WHEN THE HISTORIC FEATURE IS COMPLETELY MISSING. IT MAY BE AN ACCURATE RESTORATION USING HISTORICAL, PICTORIAL, AND PHYSICAL DOCUMENTATION; OR BE A NEW DESIGN THAT IS COMPATIBLE WITH THE SIZE, SCALE, MATERIAL, AND COLOR OF THE HISTORIC BUILDING.

CREATING A FALSE HISTORICAL APPEARANCE BECAUSE THE REPLACED WOOD FEATURE IS BASED ON INSUFFICIENT HISTORICAL, PICTORIAL, AND PHYSICAL DOCUMENTATION. INTRODUCING A NEW WOOD FEATURE THAT IS INCOMPATIBLE IN SIZE, SCALE, MATERIAL AND COLOR.

EXTERIOR FEATURES (ROOFS AND WINDOWS)

IDENTIFY, RETAIN AND PRESERVE

IDENTIFYING, RETAINING, AND PRESERVING ROOFS--AND THEIR FUNCTIONAL AND DECORATIVE FEATURES--THAT ARE IMPORTANT IN DEFINING THE OVERALL HISTORIC CHARACTER OF THE BUILDING. THIS INCLUDES THE ROOF'S SHAPE, SUCH AS HIPPED, GAMBREL, AND MANSARD: DECORATIVE FEATURES SUCH AS CUPOLAS, CRESTING CHIMNEYS, AND WEATHER VANES: AND ROOFING MATERIAL SUCH AS SLATE, WOOD, CLAY TILE, AND METAL, AS WELL AS ITS SIZE, COLOR, AND PATTERNING.

RADICALLY CHANGING, DAMAGING, OR DESTROYING ROOFS WHICH ARE IMPORTANT IN DEFINING THE OVERALL HISTORIC CHARACTER OF THE BUILDING SO THAT, AS A RESULT, THE CHARACTER IS DIMINISHED. REMOVING A MAJOR PORTION OF THE ROOF OR ROOFING MATERIAL THAT IS REPAIRABLE, AND THEN RECONSTRUCTING IT WITH NEW MATERIAL IN ORDER TO CREATE A UNIFORM OR "IMPROVED" APPEARANCE. CHANGING THE CONFIGURATION OF A ROOF BY ADDING NEW FEATURES SUCH AS DORMER WINDOWS, VENTS, OR SKYLIGHTS SO THAT THE HISTORIC CHARACTER IS DIMINISHED. STRIPPING THE ROOF OF SOUND HISTORIC MATERIAL SUCH AS SLATE, CLAY TILE, WOOD, AND ARCHITECTURAL METAL. APPLYING PAINT OR OTHER COATINGS TO ROOFING MATERIAL WHICH HAS BEEN HISTORICALLY UNCOATED.

PROTECT AND MAINTAIN

PROTECTING AND MAINTAINING A ROOF BY CLEANING THE GUTTERS AND DOWNSPOUTS AND REPLACING DETERIORATED FLASHING. ROOF SHEATHING SHOULD ALSO BE CHECKED FOR PROPER VENTING TO PREVENT MOISTURE CONDENSATION AND WATER PENETRATION; AND TO ENSURE THAT MATERIALS ARE FREE FROM INSECT INFESTATION. PROVIDING ADEQUATE ANCHORAGE FOR ROOFING MATERIAL TO GUARD AGAINST WIND DAMAGE AND MOISTURE PENETRATION. PROTECTING A LEAKING ROOF WITH PLYWOOD AND BUILDING PAPER UNTIL IT CAN BE PROPERLY REPAIRED.

FAILING TO CLEAN AND MAINTAIN GUTTERS AND DOWNSPOUTS PROPERLY SO THAT WATER AND DEBRIS COLLECT AND CAUSE DAMAGE TO ROOF FASTENERS, SHEATHING, AND THE UNDERLYING STRUCTURE. ALLOWING ROOF FASTENERS, SUCH AS NAILS AND CLIPS TO CORRODE SO THAT ROOFING MATERIAL IS SUBJECT TO ACCELERATED DETERIORATION. PERMITTING A LEAKING ROOF TO REMAIN UNPROTECTED SO THAT ACCELERATED DETERIORATION OF HISTORIC BUILDING MATERIALS--MASONRY, WOOD, PLASTER, PAINT AND STRUCTURAL MEMBERS--OCCURS.

REPAIRING A ROOF BY REINFORCING THE HISTORIC MATERIALS WHICH COMPRISE ROOF FEATURES. REPAIRS WILL ALSO GENERALLY INCLUDE THE LIMITED REPLACEMENT IN KIND-OR WITH COMPATIBLE SUBSTITUTE MATERIAL-OF THOSE EXTENSIVELY DETERIORATED OR MISSING PARTS OF FEATURES WHEN THERE ARE SURVIVING PROTOTYPES SUCH AS CUPOLA LOUVERS, DENTILS, DORMER ROOFING; OR SLATES, TILES, OR WOOD SHINGLES ON A MAIN ROOF.

REPLACING AN ENTIRE ROOF FEATURE SUCH AS A CUPOLA OR DORMER WHEN REPAIR OF THE HISTORIC MATERIALS AND LIMITED REPLACEMENT OF DETERIORATED OR MISSING PARTS ARE APPROPRIATE. FAILING TO REUSE INTACT SLATE OR TILE WHEN ONLY THE ROOFING SUBSTRATE NEEDS REPLACEMENT. USING A SUBSTITUTE MATERIAL FOR THE REPLACEMENT PART THAT DOES NOT CONVEY THE VISUAL APPEARANCE OF THE SURVIVING PARTS OF THE ROOF OR THAT IS PHYSICALLY OR CHEMICALLY INCOMPATIBLE

RECOMMENDED: REPLACING IN KIND AN ENTIRE FEATURE OF THE ROOF THAT IS TOO DETERIORATED TO REPAIR--IF THE OVERALL FORM AND DETAILING ARE STILL EVIDENT-USING THE PHYSICAL EVIDENCE AS A MODEL TO REPRODUCE THE FEATURE, EXAMPLES CAN INCLUDE A LARGE SECTION OF ROOFING, OR A DORMER OR CHIMNEY. IF USING THE SAME KIND OF MATERIAL IS NOT TECHNICALLY OR ECONOMICALLY FEASIBLE, THEN A COMPATIBLE SUBSTITUTE MATERIAL MAY BE CONSIDERED.

REMOVING A FEATURE OF THE ROOF THAT IS UN-REPAIRABLE, SUCH AS A CHIMNEY OR DORMER, AND NOT REPLACING IT; OR REPLACING IT WITH A NEW FEATURE THAT DOES NOT CONVEY THE SAME VISUAL APPEARANCE.

DESIGN FOR THE REPLACEMENT OF MISSING HISTORIC FEATURES

DESIGNING AND CONSTRUCTING A NEW FEATURE WHEN THE HISTORIC FEATURE IS COMPLETELY MISSING, SUCH AS CHIMNEY OR CUPOLA. IT MAY BE AN ACCURATE RESTORATION USING HISTORICAL, PICTORIAL, AND PHYSICAL DOCUMENTATION; OR BE A NEW DESIGN THAT IS COMPATIBLE WITH THE SIZE, SCALE, MATERIAL, AND COLOR OF THE HISTORIC BUILDING.

CREATING A FALSE HISTORICAL APPEARANCE BECAUSE THE REPLACED FEATURE IS BASED ON INSUFFICIENT HISTORICAL, PICTORIAL, AND PHYSICAL DOCUMENTATION. INTRODUCING A NEW ROOF FEATURE THAT IS INCOMPATIBLE IN SIZE, SCALE, MATERIAL AND COLOR.

ALTERATIONS/ADDITIONS FOR THE NEW USE

NOT RECOMMENDED:

INSTALLING MECHANICAL AND SERVICE EQUIPMENT ON THE ROOF SUCH AS AIR CONDITIONING, TRANSFORMERS, OR SOLAR COLLECTORS WHEN REQUIRED FOR THE NEW USE SO THAT THEY ARE INCONSPICUOUS FROM THE PUBLIC RIGHT-OF-WAY AND DO NOT DAMAGE OR OBSCURE CHARACTER-DEFINING FEATURES. DESIGNING ADDITIONS TO ROOFS SUCH AS RESIDENTIAL, OFFICE, OR STORAGE SPACES; ELEVATOR HOUSING; DECKS AND TERRACES; OR DORMERS OR SKYLIGHTS WHEN REQUIRED BY THE NEW USE SO THAT THEY ARE INCONSPICUOUS FROM THE PUBLIC RIGHT-OF-WAY AND DO NOT DAMAGE OR OBSCURE CHARACTER-DEFINING FEATURES.

NOT RECOMMENDED:

RECOMMENDED:

RECOMMENDED:

INSTALLING MECHANICAL OR SERVICE EQUIPMENT SO THAT IT DAMAGES OR OBSCURES CHARACTER-DEFINING FEATURES; OR IS CONSPICUOUS FROM THE PUBLIC RIGHT-OF-WAY. RADICALLY CHANGING A CHARACTER-DEFINING ROOF SHAPE OR DAMAGING OR DESTROYING CHARACTER-DEFINING ROOFING MATERIAL AS A RESULT OF INCOMPATIBLE DESIGN OR IMPROPER INSTALLATION TECHNIQUES.

WINDOWS

IDENTIFY, RETAIN AND PRESERVE

IDENTIFYING, RETAINING, AND PRESERVING WINDOWS--AND THEIR FUNCTIONAL AND DECORATIVE FEATURES-THAT IS IMPORTANT IN DEFINING THE OVERALL HISTORIC CHARACTER OF THE BUILDING. SUCH FEATURES CAN INCLUDE FRAMES. SASH, MUNTINS, GLAZING, SILLS, HEADS, HOODMOLDS, PANELED OR DECORATED JAMBS AND MOLDINGS, AND INTERIOR AND EXTERIOR SHUTTERS AND BLINDS. CONDUCTING AN IN DEPTH SURVEY OF THE CONDITION OF EXISTING WINDOWS EARLY IN REHABILITATION PLANNING SO THAT REPAIR AND UPGRADING METHODS AND POSSIBLE REPLACEMENT OPTIONS CAN BE FULLY EXPLORED

REMOVING OR RADICALLY CHANGING WINDOWS WHICH ARE IMPORTANT IN DEFINING THE HISTORIC CHARACTER OF THE BUILDING SO THAT, AS A RESULT, THE CHARACTER IS DIMINISHED. CHANGING THE NUMBER, LOCATION, SIZE OR GLAZING PATTERN OF WINDOWS, THROUGH CUTTING NEW OPENINGS, BLOCKING-IN WINDOWS, AND INSTALLING REPLACEMENT SASH THAT DO NOT FIT THE HISTORIC WINDOW OPENING. CHANGING THE HISTORIC APPEARANCE OF WINDOWS THROUGH THE USE OF INAPPROPRIATE DESIGNS, MATERIALS, FINISHES, OR COLORS WHICH NOTICEABLY CHANGE THE SASH, DEPTH OF REVEAL AND MUNTIN CONFIGURATION; THE REFLECTIVITY AND COLOR OF THE GLAZING; OR THE APPEARANCE OF THE FRAME. OBSCURING HISTORIC WINDOW TRIM WITH METAL OR OTHER MATERIAL. STRIPPING WINDOWS OF HISTORIC MATERIAL SUCH AS WOOD, CAST IRON, AND BRONZE. REPLACING WINDOWS SOLELY BECAUSE OF PEELING PAINT, BROKEN GLASS, STUCK SASH, AND HIGH AIR INFILTRATION. THESE CONDITIONS, IN THEMSELVES, ARE NO INDICATION THAT WINDOWS ARE BEYOND

RECOMMENDED: PROTECTING AND MAINTAINING THE WOOD AND ARCHITECTURAL METALS WHICH COMPRISE THE WINDOW FRAME, SASH, MUNTINS, AND SURROUNDS THROUGH APPROPRIATE SURFACE TREATMENTS SUCH AS CLEANING, RUST REMOVAL, LIMITED PAINT REMOVAL, AND RE-APPLICATION OF PROTECTIVE COATING SYSTEMS. MAKING WINDOWS WEATHER TIGHT BY RE-CAULKING AND REPLACING OR INSTALLING WEATHER-STRIPPING. THESE ACTIONS ALSO IMPROVE THERMAL EFFICIENCY. EVALUATING THE OVERALL CONDITION OF MATERIALS TO DETERMINE WHETHER MORE THAN PROTECTION AND MAINTENANCE ARE REQUIRED, I.E. IF REPAIRS TO WINDOWS AND WINDOW FEATURES WILL BE REQUIRED.

FAILING TO PROVIDE ADEQUATE PROTECTION OF MATERIALS ON A CYCLICAL BASIS SO THAT DETERIORATION OF THE WINDOW RESULTS. RETROFITTING OR REPLACING WINDOWS RATHER THAN MAINTAINING THE SASH, FRAME, AND GLAZING. FAILING TO UNDERTAKE ADEQUATE MEASURES TO ASSURE THE PROTECTION OF HISTORIC WINDOWS.

REPAIRING WINDOW FRAMES AND SASH BY PATCHING, SPLICING, CONSOLIDATING OR OTHERWISE REINFORCING. SUCH REPAIR MAY ALSO INCLUDE REPLACEMENT IN KIND--OR WITH COMPATIBLE SUBSTITUTE MATERIAL-OF THOSE PARTS THAT ARE EITHER EXTENSIVELY DETERIORATED OR ARE MISSING WHEN THERE ARE SURVIVING PROTOTYPES SUCH AS ARCHITRAVES, HOOD MOLDS, SASH, SILLS, AND INTERIOR OR EXTERIOR SHUTTERS AND BLINDS.

REPLACING AN ENTIRE WINDOW WHEN REPAIR OF MATERIALS AND LIMITED REPLACEMENT OF DETERIORATED OR MISSING PARTS ARE APPROPRIATE. FAILING TO REUSE SERVICEABLE WINDOW HARDWARE SUCH AS BRASS SASH LIFTS AND SASH LOCKS. USING SUBSTITUTE MATERIAL FOR THE REPLACEMENT PART THAT DOES NOT CONVEY THE VISUAL APPEARANCE OF THE SURVIVING PARTS OF THE WINDOW OR THAT IS PHYSICALLY OR CHEMICALLY INCOMPATIBLE.

REPLACING IN KIND AN ENTIRE WINDOW THAT IS TOO DETERIORATED TO REPAIR USING THE SAME SASH AND PANE CONFIGURATION AND OTHER DESIGN DETAILS. IF USING THE SAME KIND OF MATERIAL IS NOT TECHNICALLY OR ECONOMICALLY FEASIBLE WHEN REPLACING WINDOWS DETERIORATED BEYOND REPAIR, THEN A COMPATIBLE SUBSTITUTE MATERIAL MAY BE CONSIDERED.

NOT RECOMMENDED

RECOMMENDED:

REMOVING A CHARACTER-DEFINING WINDOW THAT IS UN-REPAIRABLE AND BLOCKING IT IN; OR REPLACING IT WITH A NEW WINDOW THAT DOES NOT CONVEY THE SAME VISUAL APPEARANCE.

DESIGN FOR THE REPLACEMENT OF MISSING HISTORIC FEATURES

RECOMMENDED: DESIGNING AND INSTALLING NEW WINDOWS WHEN THE HISTORIC WINDOWS (FRAMES, SASH AND GLAZING) ARE COMPLETELY MISSING. THE REPLACEMENT WINDOWS MAY BE AN ACCURATE RESTORATION USING HISTORICAL, PICTORIAL, AND PHYSICAL DOCUMENTATION; OR BE A NEW DESIGN THAT IS COMPATIBLE WITH THE WINDOW OPENINGS AND THE HISTORIC CHARACTER OF THE BUILDING.

NOT RECOMMENDED: CREATING A FALSE HISTORICAL APPEARANCE BECAUSE THE REPLACED WINDOW IS BASED ON INSUFFICIENT HISTORICAL. PICTORIAL, AND PHYSICAL DOCUMENTATION. INTRODUCING A NEW DESIGN THAT IS INCOMPATIBLE WITH THE HISTORIC CHARACTER OF THE BUILDING.

ALTERATIONS/ADDITIONS FOR THE NEW USE

DESIGNING AND INSTALLING ADDITIONAL WINDOWS ON REAR OR OTHER-NON CHARACTER-DEFINING ELEVATIONS IF REQUIRED BY THE NEW USE. NEW WINDOW OPENINGS MAY ALSO BE CUT INTO EXPOSED PARTY WALLS. SUCH DESIGN SHOULD BE COMPATIBLE WITH THE OVERALL DESIGN OF THE BUILDING, BUT NOT DUPLICATE THE FENESTRATION PATTERN AND DETAILING OF A CHARACTER-DEFINING ELEVATION. PROVIDING A SETBACK IN THE DESIGN OF DROPPED CEILINGS WHEN THEY ARE REQUIRED FOR THE NEW USE TO ALLOW FOR THE FULL HEIGHT OF THE WINDOW OPENINGS.

INSTALLING NEW WINDOWS, INCLUDING FRAMES, SASH, AND MUNTIN CONFIGURATION THAT ARE INCOMPATIBLE WITH THE BUILDING'S HISTORIC APPEARANCE OR OBSCURE, DAMAGE, OR DESTROY CHARACTER-DEFINING FEATURES. INSERTING NEW FLOORS OR FURRED-DOWN CEILINGS WHICH CUT ACROSS THE GLAZED AREAS OF WINDOWS SO THAT THE EXTERIOR FORM AND APPEARANCE OF THE WINDOWS ARE CHANGED.

STRUCTURAL SYSTEMS

IDENTIFY, RETAIN AND PRESERVE

IDENTIFYING, RETAINING, AND PRESERVING STRUCTURAL SYSTEMS--AND INDIVIDUAL FEATURES OF SYSTEMS--THAT ARE IMPORTANT IN DEFINING THE OVERALL HISTORIC CHARACTER OF THE BUILDING, SUCH AS POST AND BEAM SYSTEMS, TRUSSES, SUMMER BEAMS, VIGAS, CAST IRON COLUMNS, ABOVE-GRADE STONE FOUNDATION WALLS, OR LOAD BEARING **BRICK OR STONE WALLS**

NOT RECOMMENDED REMOVING, COVERING, OR RADICALLY CHANGING VISIBLE FEATURES OF STRUCTURAL SYSTEMS WHICH ARE IMPORTANT IN DEFINING THE OVERALL HISTORIC CHARACTER OF THE BUILDING SO THAT, AS A RESULT, THE CHARACTER IS DIMINISHED. PUTTING A NEW USE INTO THE BUILDING WHICH COULD OVERLOAD THE EXISTING STRUCTURAL SYSTEM; OR INSTALLING EQUIPMENT OR MECHANICAL SYSTEMS WHICH COULD DAMAGE THE STRUCTURE. DEMOLISHING A LOAD BEARING MASONRY WALL THAT COULD BE AUGMENTED AND RETAINED, AND REPLACING IT WITH A NEW WALL (I.E., BRICK OR STONE), USING THE HISTORIC MASONRY ONLY AS AN EXTERIOR VENEER. LEAVING KNOWN STRUCTURAL PROBLEMS UNTREATED SUCH AS DEFLECTION OF BEAMS, CRACKING AND BOWING OF WALLS, OR RACKING OF STRUCTURAL MEMBERS. UTILIZING TREATMENTS OR PRODUCTS THAT ACCELERATE THE DETERIORATION OF STRUCTURAL MATERIAL SUCH AS INTRODUCING UREA-FORMALDEHYDE FOAM INSULATION INTO FRAME WALLS

PROTECT AND MAINTAIN

PROTECTING AND MAINTAINING THE STRUCTURAL SYSTEM BY CLEANING THE ROOF GUTTERS AND DOWNSPOUTS; REPLACING ROOF FLASHING; KEEPING MASONRY, WOOD, AND ARCHITECTURAL METALS IN A SOUND CONDITION; AND ENSURING THAT STRUCTURAL MEMBERS ARE FREE FROM INSECT INFESTATION.

EXAMINING AND EVALUATING THE PHYSICAL CONDITION OF THE STRUCTURAL SYSTEM AND ITS INDIVIDUAL FEATURES USING NON-DESTRUCTIVE TECHNIQUES SUCH AS X-RAY PHOTOGRAPHY.

FAILING TO PROVIDE PROPER BUILDING MAINTENANCE SO THAT DETERIORATION OF THE STRUCTURAL SYSTEM RESULTS. CAUSES OF DETERIORATION INCLUDE SUBSURFACE GROUND MOVEMENT, VEGETATION GROWING TOO CLOSE TO FOUNDATION WALLS, IMPROPER GRADING, FUNGAL ROT, AND POOR INTERIOR VENTILATION THAT RESULT IN CONDENSATION. UTILIZING DESTRUCTIVE PROBING TECHNIQUES THAT WILL DAMAGE OR DESTROY STRUCTURAL MATERIAL

RECOMMENDED: REPAIRING THE STRUCTURAL SYSTEM BY AUGMENTING OR UPGRADING INDIVIDUAL PARTS OR FEATURES. FOR EXAMPLE, WEAKENED STRUCTURAL MEMBERS SUCH AS FLOOR FRAMING CAN BE PAIRED WITH A NEW MEMBER, BRACED, OR OTHERWISE SUPPLEMENTED AND REINFORCED.

NOT RECOMMENDED: UPGRADING THE BUILDING STRUCTURALLY IN A MANNER THAT DIMINISHES THE HISTORIC CHARACTER OF THE EXTERIOR, SUCH AS INSTALLING STRAPPING CHANNELS OR REMOVING A DECORATIVE CORNICE; OR DAMAGES INTERIOR FEATURES OR

REPLACING A STRUCTURAL MEMBER OR OTHER FEATURE OF THE STRUCTURAL SYSTEM WHEN IT COULD BE AUGMENTED AND RETAINED.

REPLACING IN KIND--OR WITH SUBSTITUTE MATERIAL--THOSE PORTIONS OR FEATURES OF THE STRUCTURAL SYSTEM THAT ARE EITHER EXTENSIVELY DETERIORATED OR ARE MISSING WHEN THERE ARE SURVIVING PROTOTYPES SUCH AS CAST IRON COLUMNS, ROOF RAFTERS OR TRUSSES, OR SECTIONS OF LOAD BEARING WALLS. SUBSTITUTE MATERIAL SHOULD CONVEY THE SAME FORM, DESIGN, AND OVERALL VISUAL APPEARANCE AS THE HISTORIC FEATURE; AND, AT A MINIMUM, IS EQUAL TO ITS LOAD BEARING CAPABILITIES.

INSTALLING A VISIBLE REPLACEMENT FEATURE THAT DOES NOT CONVEY THE SAME VISUAL APPEARANCE, E.G., REPLACING AN EXPOSED WOOD SUMMER BEAM WITH A STEEL BEAM. USING SUBSTITUTE MATERIAL THAT DOES NOT EQUAL THE LOAD BEARING CAPABILITIES OF THE HISTORIC MATERIAL AND DESIGN OR IS OTHERWISE PHYSICALLY OR CHEMICALLY INCOMPATIBLE.

ALTERATIONS/ADDITIONS FOR THE NEW USE

LIMITING ANY NEW EXCAVATIONS ADJACENT TO HISTORIC FOUNDATIONS TO AVOID UNDERMINING THE STRUCTURAL STABILITY OF THE BUILDING OR ADJACENT HISTORIC BUILDINGS. STUDIES SHOULD BE DONE TO ASCERTAIN POTENTIAL DAMAGE TO ARCHEOLOGICAL RESOURCES. CORRECTING STRUCTURAL DEFICIENCIES IN PREPARATION FOR THE NEW USE IN A MANNER THAT PRESERVES THE STRUCTURAL SYSTEM AND INDIVIDUAL CHARACTER-DEFINING FEATURES. DESIGNING AND INSTALLING NEW MECHANICAL OR ELECTRICAL SYSTEMS WHEN REQUIRED FOR THE NEW USE WHICH MINIMIZE THE NUMBER OF CUTOUTS OR HOLES IN STRUCTURAL MEMBERS.

ADDING A NEW FLOOR WHEN REQUIRED FOR THE NEW USE IF SUCH AN ALTERATION DOES NOT DAMAGE OR DESTROY THE STRUCTURAL SYSTEM OR OBSCURE, DAMAGE, OR DESTROY CHARACTER-DEFINING SPACES, FEATURES, OR FINISHES. CREATING AN ATRIUM OR A LIGHT WELL TO PROVIDE NATURAL LIGHT WHEN REQUIRED FOR THE NEW USE IN A MANNER THAT ASSURES THE PRESERVATION OF THE STRUCTURAL SYSTEM AS WELL AS CHARACTER-DEFINING INTERIOR SPACES, FEATURES, AND FINISHES.

CARRYING OUT EXCAVATIONS OR RE-GRADING ADJACENT TO OR WITHIN A HISTORIC BUILDING WHICH COULD CAUSE THE HISTORIC FOUNDATION TO SETTLE, SHIFT, OR FAIL; COULD HAVE A SIMILAR EFFECT ON ADJACENT HISTORIC BUILDINGS; OR COULD DESTROY SIGNIFICANT ARCHEOLOGICAL RESOURCES. RADICALLY CHANGING INTERIOR SPACES OR DAMAGING OR DESTROYING FEATURES OR FINISHES THAT ARE CHARACTER-DEFINING WHILE TRYING TO CORRECT STRUCTURAL DEFICIENCIES IN PREPARATION FOR THE NEW USE. INSTALLING NEW MECHANICAL AND ELECTRICAL SYSTEMS OR EQUIPMENT IN A MANNER WHICH RESULTS IN NUMEROUS CUTS, SPLICES, OR ALTERATIONS TO THE STRUCTURAL MEMBERS INSERTING A NEW FLOOR WHEN SUCH A RADICAL CHANGE DAMAGES A STRUCTURAL SYSTEM OR OBSCURES OR DESTROYS INTERIOR SPACES, FEATURES, OR FINISHES. INSERTING NEW FLOORS OR FURRED-DOWN CEILINGS WHICH CUT ACROSS THE GLAZED AREAS OF WINDOWS SO THAT THE EXTERIOR FORM AND APPEARANCE OF THE WINDOWS ARE RADICALLY CHANGED. DAMAGING THE STRUCTURAL SYSTEM OR INDIVIDUAL FEATURES; OR RADICALLY CHANGING, DAMAGING, OR DESTROYING CHARACTER-DEFINING INTERIOR SPACES, FEATURES, OR FINISHES IN ORDER TO CREATE AN ATRIUM OR A LIGHT WELL.

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ECT. THE OWNER AND CONTRACTOR CERTIFY THAT ANY AND ALL DEFECTS, ERROR: NSISTENCIES OR OMISSIONS IN THE DRAWINGS OR SPECIFICATIONS OF WHICH IT IS AWARI R DIRECTLY OR BY NOTIFICATION FROM ANY SUBCONTRACTOR OR MATERIAL SUPPLIER H NOTED AND BROUGHT TO THE ARCHITECT'S ATTENTION. OWNER AND CONTRACTOR AT AFFIRM THAT NO CLAIMS SHALL BE MADE AGAINST BARTON ROSS & PARTNERS, REPRESENTATION OF THE SCOPE OF WORK DOCUMENTED HEREIN.

RACTORS AND SUBCONTRACTORS SHALL VERIFY ALL FIGURED DIMENSIONS AND CONDITI ANCIES PRIOR TO BIDDING OR COMMENCING CONSTRUCTION AND/OR FABRICATION OF A ALWAYS CONSULT THE ARCHITECT FOR DESIGN INTENT AND SUBMIT SHOP DRAWINGS F PPROVAL, VERIFY ALL EXISTING DIMENSIONS IN THE FIELD, DO NOT SCALE THESE DRAWINGS.

06.27.2025 | ISSUE FOR OWNER REVIEW NO. DATE DESCRIPTION

> LOCATION MAP (NTS) MAP 0203 GRID 0003 PARCEL 0859



PROJECT:

DRAWING TITLE:

HISTORIC PRESERVATION NOTES

SEAL & SIGNATURE

PROJECT NO.

PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE

2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, LOCAL CODES, ORDINANCES AND OSHA REGULATIONS.

3. CONTRACTOR SHALL OBTAIN AND PAY ALL FEES FOR PERMITS AND INSPECTIONS AS REQUIRED BY CODE, APPLICABLE LAWS OR GOVERNING AGENCIES IN CONNECTION WITH DEMOLITION WORK, REMOVAL AND DISPOSAL OF DEBRIS, ASBESTOS, ETC.

. CONTRACTOR SHALL IN ADVANCE OF BID TOUR THE THE ENTIRE PROJECT TO ASCERTAIN THE EXISTING CONDITIONS AND THE FULL SCOPE OF DEMOLITION WORK REQUIRED FOR A COMPLETE PROJECT. CONTRACTOR SHALL ASSURE HIMSELF THAT THE QUANTITIES OF WORK AS ILLUSTRATED IN THE CONTRACT DOCUMENTS ARE A TRUE AND ACCURATE REPRESENTATION OF THE EXISTING CONDITIONS AND THE

SCOPE OF THE WORK NECESSARY TO PROVIDE A COMPLETE PROJECT.

• UP IF THE CONTRACTOR BELIEVES THAT THE SCOPE OF WORK IS NOT FULLY ILLUSTRATED IN THE CONTRACT DOCUMENTS, HE SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CORRECTIONS HE DEEMS NECESSARY.

ANY WORK NOT SHOWN ON THE DRAWING OR SPECIFICALLY MENTIONED IN THE SPECIFICATIONS BUT CONSIDERED NECESSARY FOR THE COMPLETION OF THE WORK IN PROPER MANNER SHALL BE PROVIDED BY THIS CONTRACTOR WITHOUT ADDITIONAL CHARGE.

REQUEST FOR CHANGE ORDERS RELATED TO THE CONTRACTOR'S FAILURE TO COMPLY WITH THE ABOVE TERMS WILL NOT BE APPROVED. ANY ADDITIONAL EXPENSES SHALL BE BORNE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

DEMOLITION CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN DEMOLISHING OR REMOVING ITEMS IN BUILDING SO AS TO CAUSE THE LEAST AMOUNT OF PATCHWORK

9. EXISTING FINISHES AND OTHER MATERIALS TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR DURING THE DEMOLITION AND REMOVAL PROCESS SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER. 10. ALL DEMOLISHED MATERIALS SHALL BE DISPOSED OF OFF-SITE AND NOT ALLOWED TO

ACCUMULATE. PROTECT PATH OF TRAVEL OF RUBBISH DISPOSAL THROUGH THE 11. THE CONTRACTOR SHALL TAKE PRECAUTIONS DURING DEMOLITION TO AVOID REMOVING EXISTING STRUCTURAL COLUMNS AND BEAMS WHICH MAY BE CONCEALED

AND WHICH ARE TO REMAIN. 12. CARE SHALL BE GIVEN TO THE PROTECTION OF EXISTING UTILITY LINES DURING

DEMOLITION. 13. WHERE MECHANICAL, ELECTRICAL, AND PLUMBING WORK ARE REMOVED, ALL LINES, CONDUITS, DUCTS, ETC. SHALL BE CAPPED WITHIN THE WALLS, ABOVE FINISH CEILING OR BELOW FINISH FLOOR LINE.

14. DISCONNECT ELECTRIC CIRCUITS AT MAIN PANEL(S) SERVING AREAS TO BE DEMOLISHED.

ALTERATION PROJECT PROCEDURES:

15. CUT, MOVE OR REMOVE ITEMS AS NECESSARY TO PROVIDE ACCESS OR TO ALLOW ALTERATIONS AND NEW WORK TO PROCEED.

16. ASSIGN THE WORK OF MOVING, REMOVAL, CUTTING AND PATCHING, TO TRADES QUALIFIED TO PERFORM THE WORK IN A MANNER TO CAUSE LEAST DAMAGE TO EACH TYPE OF WORK, AND PROVIDE MEANS OF RETURNING TO APPEARANCE OF NEW

17. CUT FINISH SURFACES BY METHODS TO TERMINATE SURFACES ON A STRAIGHT LINE AT A NATURAL POINT OF DIVISION.

18. PROTECT FROM DAMAGE EXISTING FINISHES, EQUIPMENT, AND ADJACENT WORK WHICH IS SCHEDULED TO REMAIN.

19. CONTRACT DOCUMENTS WILL NOT DEFINE PRODUCTS OR STANDARDS OF WORKMANSHIP PRESENT IN EXISTING CONSTRUCTION, CONTRACTOR SHALL DETERMINE PRODUCTS BY INSPECTION AND ANY NECESSARY TESTING, AND WORKMANSHIP BY USE OF THE EXISTING AS A SAMPLE OF COMPARISON.

20. G.C. SHALL DISCUSS W/ OWNER THE CORRECT WAY AND TIMES FOR BRINGING MATERIALS INTO THE SITE AND STORING. ALSO FOR THE PROPER PROCEDURES FOR DUMPSTER LOCATION AND TRASH REMOVAL AS TO COMPLY WITH SCOTCH PLAINS CONSTRUCTION WORK TIMES AND DAYS ORDINANCE.

21. PERFORM CUTTING AND REMOVAL OF WORK IN A MANNER TO AVOID DAMAGE TO

22. DEMOLITION SHALL COMPLY WITH ALL CODES AND REGULATIONS HAVING JURISDICTION ON SITE AND PROJECT.

23. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS WITHIN THE CONTRACT LIMITS AND NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DEVIATION FROM CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS OR

ITEMS NOT COVERED. 24. ALL DEMOLITION SHALL BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING JURISDICTION AND THE OWNER. A FIRE WATCH SHALL BE PROVIDED IF ANY HAZARDOUS SITUATIONS ARE THOUGHT TO BE POSSIBLE. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION FOR POLLUTION CONTROL. THOROUGHLY CLEAN ADJACENT AREAS OF DUST, DIRT AND DEBRIS CAUSED BY DEMOLITION WORK BEFORE NEW WORK BEGINS. RETURN ADJACENT AREAS TO CONDITION FOUND PRIOR TO START OF DEMOLITION WORK.

25. HAZARDOUS MATERIAL NOTE: CONTRACTOR SHALL STOP WORK AND INFORM OWNER IMMEDIATELY IN WRITING OF ANY HAZARDOUS MATERIAL ENCOUNTERED OR THOUGHT TO BE HAZARDOUS MATERIAL. THE OWNER, AFTER RECEIVING WRITTEN NOTICE SHALL INSTRUCT CONTRACTOR ON HOW TO PROCEED.

26. PRIOR TO DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE REMAINING ELEMENTS OF THE BUILDING AND ITS SYSTEMS AS REQUIRED.

27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPORT OF STRUCTURES DURING DEMOLITION AND NEW CONSTRUCTION WORK. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY SHORING, SCAFFOLDING, ETC., WHICH IS NECESSARY TO PREVENT COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE.

28. CONTRACTOR SHALL REVIEW ALL ITEMS TO BE DEMOLISHED WITH OWNER TO IDENTIFY ANY ITEMS TO BE SALVAGED PRIOR TO START OF DEMOLITION.

29. ANY FLOOR OPENINGS SHALL BE COVERED DURING DEMOLITION AND CONSTRUCTION. 30. PROVIDE ALL DEMOLITION REQUIRED FOR NEW CONSTRUCTION WHETHER OR NOT DEMOLITION WORK IS SHOWN AND/OR CALLED OUT.

CONTRACTOR NOTES

1. IF NECESSARY, PROVIDE TEMPORARY STRUCTURAL SHORING AS REQUIRED TO COMPLETE THE WORK WITHOUT WEAKENING THE EXISTING STRUCTURE.

2. CONSULT WITH ARCHITECT SHOULD QUESTIONS ARISE REGARDING UNDERMINING ANY EXISTING STRUCTURE.

3. DISCONNECT AND/OR SHUTDOWN PLUMBING, ELECTRICAL AND DUCT WORK AS REQUIRED.

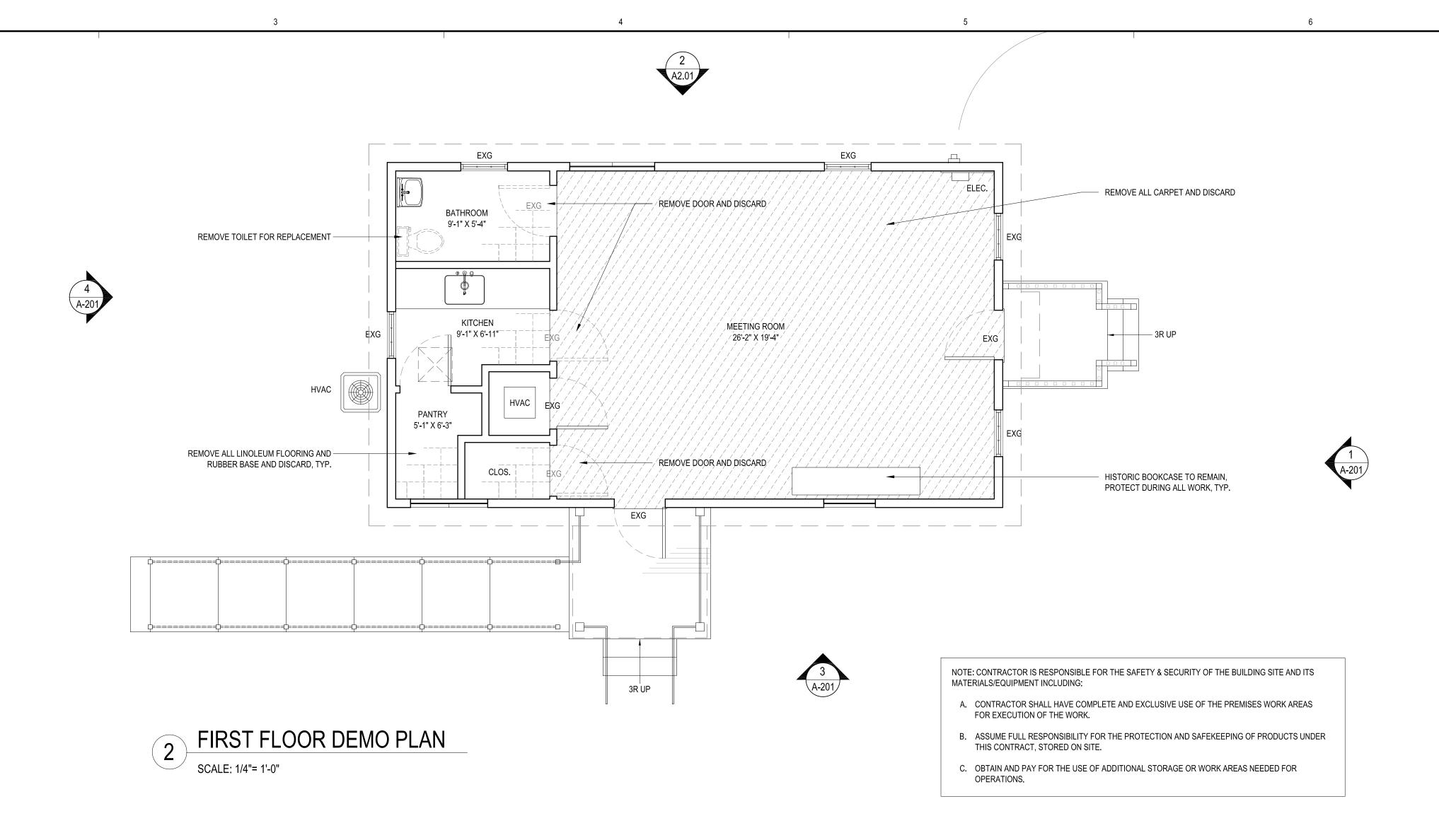
4. REMOVE ALL NON-HISTORIC INTERIOR FINISHES, AS NECESSARY TO COMPLETE WORK.

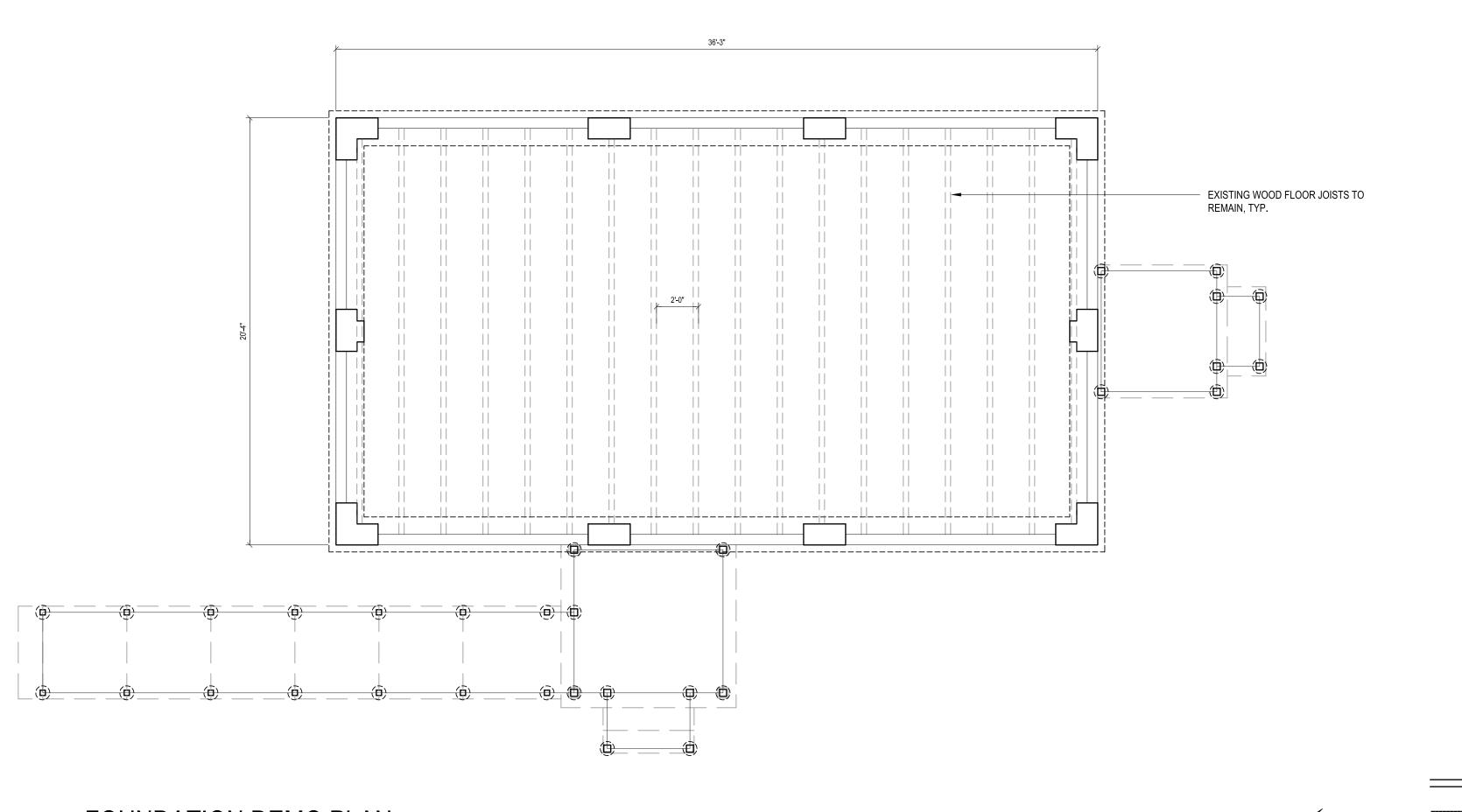
5. TAKE SPECIAL CARE TO ENSURE THAT NO DAMAGE OCCURS IN ANY OTHER AREA OF THE HISTORIC BUILDING DURING DEMOLITION OF INDICATED AREAS.

6. TAKE SPECIAL CARE TO PREVENT DIRT, DUST AND CONSTRUCTION DEBRIS FROM ENTERING OTHER AREAS OF THE BUILDING. DOORS TO AREAS OUTSIDE THE SCOPE OF WORK SHALL BE COVERED AND TAPED, AND OPENINGS TO AREAS OUTSIDE THE SCOPE OF WORK SHALL BE CLOSED OFF WITH PLASTIC AND SEALED WITH TAPE WHEREVER POSSIBLE, WITHOUT DAMAGING THE EXISTING CONDITIONS.

7. KEEP WORK CLEAN ON A DAILY BASIS. ALL DEBRIS SHALL BE PUT IN A CONTAINER AT DAY'S

8. CONSULT WITH OWNER PRIOR TO DISCARDING ANY EXISTING FIXTURES, HARDWARE OR OTHER ITEMS THAT THE OWNER MAY WISH TO RE-USE.







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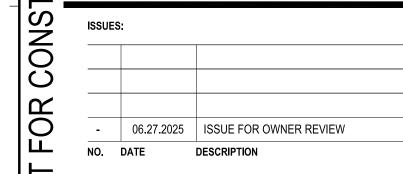
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NOTED AND BROUGHT TO THE ARCHITECT'S ATTENTION. OWNER AND CONTRACTOR ATT AFFIRM THAT NO CLAIMS SHALL BE MADE AGAINST BARTON ROSS & PARTNERS, REPRESENTATION OF THE SCOPE OF WORK DOCUMENTED HEREIN.

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LOCATION MAP (NTS) MAP 0203 GRID 0003 PARCEL 0859



PLAN NORTH NORTH \

PROJECT:

Hearse House Historic Rehabilitation

DRAWING TITLE:

DEMOLITION PLANS

SEAL & SIGNATURE

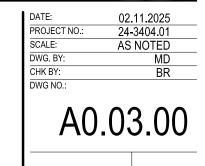
EXISTING PARTITION

HISTORIC CONSTRUCTION

NEW 2x CONSTRUCTION

TO REMAIN PARTITION TO BE

REMOVED



PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 17587, EXPIRATION DATE 01-06-2026.

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PLAN NORTH

APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE

NUMBER 17587, EXPIRATION DATE 01-06-2026.

NEW 2x CONSTRUCTION

SPECIFICATIONS.

2. CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION TO REMAIN DURING DEMOLITION AND FOR THE DURATION OF WORK. CONTRACTOR SHALL BE BE RESPONSIBLE FOR CORRECTING DAMAGE WHICH MAY OCCUR TO THE EXISTING CONSTRUCTION TO

REMAIN WHICH IS CAUSED BY THEM DURING CONSTRUCTION.

3. CONTRACTOR SHALL PATCH AND/OR REPAIR ALL EXISTING ADJACENT CONSTRUCTION MAY

BE REQUIRED AFTER DEMOLITION TO PROVIDE A COMPLETE FINISHED INSTALLATION.

BE REQUIRED AFTER DEMOLITION TO PROVIDE A COMPLETE FINISHED INSTALLATION.

4. EACH TRADE WHETHER GENERAL CONTRACTOR OR SUBCONTRACTOR IS RESPONSIBLE FOR THEIR OWN CUTTING, ALL PATCHING SHALL BE THE RESPONSIBILITY OF THE GENERAL

5. WHERE EXISTING LUMINARIES, ELECTRICAL RECEPTACLES, AND OTHER ELECTRICAL ITEMS ARE TO BE REMOVED, ALL ASSOCIATED SERVICES SHALL BE CAPPED AND REMOVED IN ACCORDANCE WITH ALL APPLICABLE CODES.

6. ANY FURNITURE OR FURNISHING TO REMAIN DURING DEMOLITION OR CONSTRUCTION SHALL BE PROTECTED BY CONTRACTOR.
 7. CONTRACTOR IS RESPONSIBLE FOR FURNISHING, INSTALLING, AND MAINTAINING DUST

BARRIERS TO PROTECT ADJACENT AREAS FROM DUST AND DEBRIS CAUSED BY CONSTRUCTION.

8. PRIOR TO PERFORMING ANY DEMOLITION ACTIVITIES THE CONTRACTOR SHALL VERIFY ALL CONDITIONS ON THE SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE

DRAWINGS..

9. ALL FINISH MATERIALS E.G. WALL COVERINGS, WALL BASE, VCT, CARPET, ETC. TO BE REMOVED TO THE CORE OF THE BUILDING AND SURFACES PREPARED REQUIRED TO

REMOVED TO THE CORE OF THE BUILDING AND SURFACES PREPARED REQUIRED TO RECEIVE NEW FINISHES.

10. REMOVE ALL FLOOR MOUNTED POKE THRUS, AND POWER POLES. REMOVE ALL

ELECTRICAL CABLES PER CODE. FILL HOLES WITH FIRE RATED ABANDONMENT PLUGS.

11. WHERE REMOVING EXISTING PLUMBING FIXTURES, CAP OFF ALL LINES AS REQUIRED BY CODE

COORDINATE ALL DEMOLITION WITH CONSTRUCTION PLAN.
 PATH AND PREPARE FLOOR, WALLS, AND COLUMN ENCLOSURES AND MAKE READY FOR

NEW FINISHES.

14. PATCH ALL HOLES LEFT BEHIND IN WALLS FROM THE REMOVAL OR RELOCATION OF SWITCHES AND RECEPTACLES. .

15. WIRING TO ELECTRICAL DEVICES TO BE REMOVED SHALL BE DISCONNECTED AND REMOVED FROM THE PANEL AND DISCARD, FILL HOLES WITH FIRE ABANDONMENT PLUGS.

FRAMING GENERAL NOTES

1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, LAWS, ORDINANCES, RULES & REGULATIONS INCLUDING SITE AND LOCAL CODES.

2. CONTRACTORS
CONSTRUCTION, WHETHER IT BE THEIR OWN OR THAT OF THEIR EMPLOYEES OR

SUBCONTRACTORS.

3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NEW CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE A CONTRACT BID IS SUBMITTED TO THE OWNER AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN ACTUAL AND SHOWN ON THE DRAWINGS.

4. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADJACENT AREAS TO REMAIN AND SHALL BE RESPONSIBLE FOR CORRECTING ANY DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION.

 CONTRACTOR SHALL PROCURE AND PAY FOR ALL APPLICABLE PERMITS.
 CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS FROM THE PREMISE.

7. ARCHITECT IS NOT RESPONSIBLE FOR ANY CHANGES MADE WHICH DEVIATE FROM THE DRAWINGS, WHETHER INITIATED BY OWNER, CONTRACTOR, OR BOTH, UNLESS AGREED UPON BY ARCHITECT IN WRITING.

CONTRACTOR SHALL GUARANTEE WORK FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF COMPLETION.
 CONTRACTOR SHALL MAINTAIN APPROPRIATE INSURANCE FOR THE PROJECT.

10. ANY ADDENDA OF MODIFICATION ISSUED BY THE ARCHITECT SHALL BECOME IMMEDIATELY INCORPORATED INTO THE WORK AS IF ORIGINALLY INCLUDED HEREWITH.

11. ONLY THOSE AREAS DESIGNATED BY THE OWNER SHALL BE USED FOR THE STORAGE OF CONSTRUCTION EQUIPMENT AND MATERIALS.

12. THE ARCHITECT SHALL BE HELD HARMLESS BY ALL PARTIES AGAINST ANY CLAIMS THAT

MAY ARISE OUT OF CONSTRUCTION PROCEDURES OR ACTIVITIES.

13. ANY ITEMS REQUIRING CLARIFICATION OR A DECISION BY THE ARCHITECT SHALL BE ADDRESSED BY THE ARCHITECT IN THE FORM OF A DETAIL OR IN THE FORM OF A DETAIL. VERBAL RESOLUTIONS ARE NOT BINDING.

14. IF CONTRACTOR PROPOSES A SUBSTITUTION FOR ANY OF THE MATERIALS OR EQUIPMENT SPECIFIED, INFORMATION OR SAMPLES TO DETERMINE IF THE SUBSTITUTE IS ACCEPTABLE OR EQUAL TO THE SPECIFIED ITEM SHALL BE SUBMITTED TO THE ARCHITECT. THE ARCHITECT SHALL DETERMINE IF ANY ITEM IS ACCEPTABLE OR EQUAL. HOWEVER THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PERFORMANCE OF THE ITEM. REJECTED ITEM SHALL NOT BE USED UNDER ANY CIRCUMSTANCES.

15. GENERAL CONTRACTOR SHALL PROVIDE CLEANING OF ALL GLASS, PAINTING OR FINISHES SURFACES, HARDWARE, MASONRY, ETC. FOLLOWING THE COMPLETION OF CLEAN UP, SHOULD ANY CONTRACTOR MARK OR LITTER ANY AREAS CLEANED. THE CONTRACTOR RESPONSIBLE SHALL CLEAN SAID AREAS TO THE SATISFACTION OF THE ARCHITECT.

16. DRAWINGS SHALL NOT BE SCALED.17. ALL DIMENSIONS ARE TO ROUGH OPENINGS.

FRAMING SPECIFICATIONS

1. CONCRETE FOOTINGS SHALL BE READY MIX STONE AGGREGATE WITH A MINIMUM OF 28 DAY STRENGHT OF 3,000 PSI.

2. MORTAR SHALL BE TYPE 'M' WITH 28 DAY STRENGTH OF 2,500 PSI. ONE PART PORTLAND TO

\$\frac{1}{4}\$ PART LIME TO 3 PARTS MASON SAND.

 CALCIUM CHLORIDE MAY BE USED TO SPEED UP SETTING TIME IN COLD WEATHER IT MUST NOT CONSIST OF OVER 2% OF THE WEIGHT OF THE MIX.

4. FRAMING LUMBER SHALL BE DOUGLAS FIR CONSTRUCTION GRADE WITH A MINIMUM OF 1,200 PSI FIBER STRENGTH. REFER TO DRAWINGS FOR THE SIZE OF MEMBERS.

5. ENGINEERED LVL LUMBER SHALL BE 2.0E WITH A MINIMUM OF 3,100 PSI FIBER STRENGTH.
6. CARPENTERS SHALL INSPECT LUMBER REFORE INSTALLATION TO CHECK FOR DEFECTS

6. CARPENTERS SHALL INSPECT LUMBER, BEFORE INSTALLATION, TO CHECK FOR DEFECTS IE. WARPING, BOWS, HORN, KNOTS, AND HORIZONTAL SPLITTING.

 ALL DOORS AND WINDOWS OPENING OVER 48" SHALL HAVE DOUBLE LINERS, UNLESS OTHERWISE NOTED.

ALL WOOD IN CONTACT WITH MASONRY SHALL BE SOUTHERN YELLOW PINE 'TREATED'.
 GAPS AND SPACES BETWEEN ALL STRUCTURAL MEMBERS SHALL BE NOT ALLOWED.

10. STEEL SHALL CONFORM TO ASTM A-36, FREE FROM GREASE, MILL SCALE, AND RUST. ALL STEEL SHALL BE SHOP COATED.

ALL STRUCTURAL POSTS SHALL GO DOWN TO SOLID BEARING ON TOP OF FOUNDATION.
 ALL OPENINGS IN WALL PLATES SHALL BE SEALED WITH FIRE WOOL OR FOAM.

13. ALL STRUCTURAL CONNECTORS SHALL BE HOT DIPPED GALVANIZED WHEN USED WITH PRESSURE TREATED LUMBERS.

CONTRACTOR NOTES

1. IF NECESSARY, PROVIDE TEMPORARY STRUCTURAL SHORING AS REQUIRED TO COMPLETE

THE WORK WITHOUT WEAKENING THE EXISTING STRUCTURE.

2. CONSULT WITH ARCHITECT SHOULD QUESTIONS ARISE REGARDING UNDERMINING ANY

EXISTING STRUCTURE.
3. DISCONNECT AND/OR SHUTDOWN PLUMBING, ELECTRICAL AND DUCT WORK AS REQUIRED.

REMOVE ALL INTERIOR FINISHES, AS NECESSARY TO COMPLETE WORK.
 TAKE SPECIAL CARE TO ENSURE THAT NO DAMAGE OCCURS IN ANY OTHER AREA OF THE

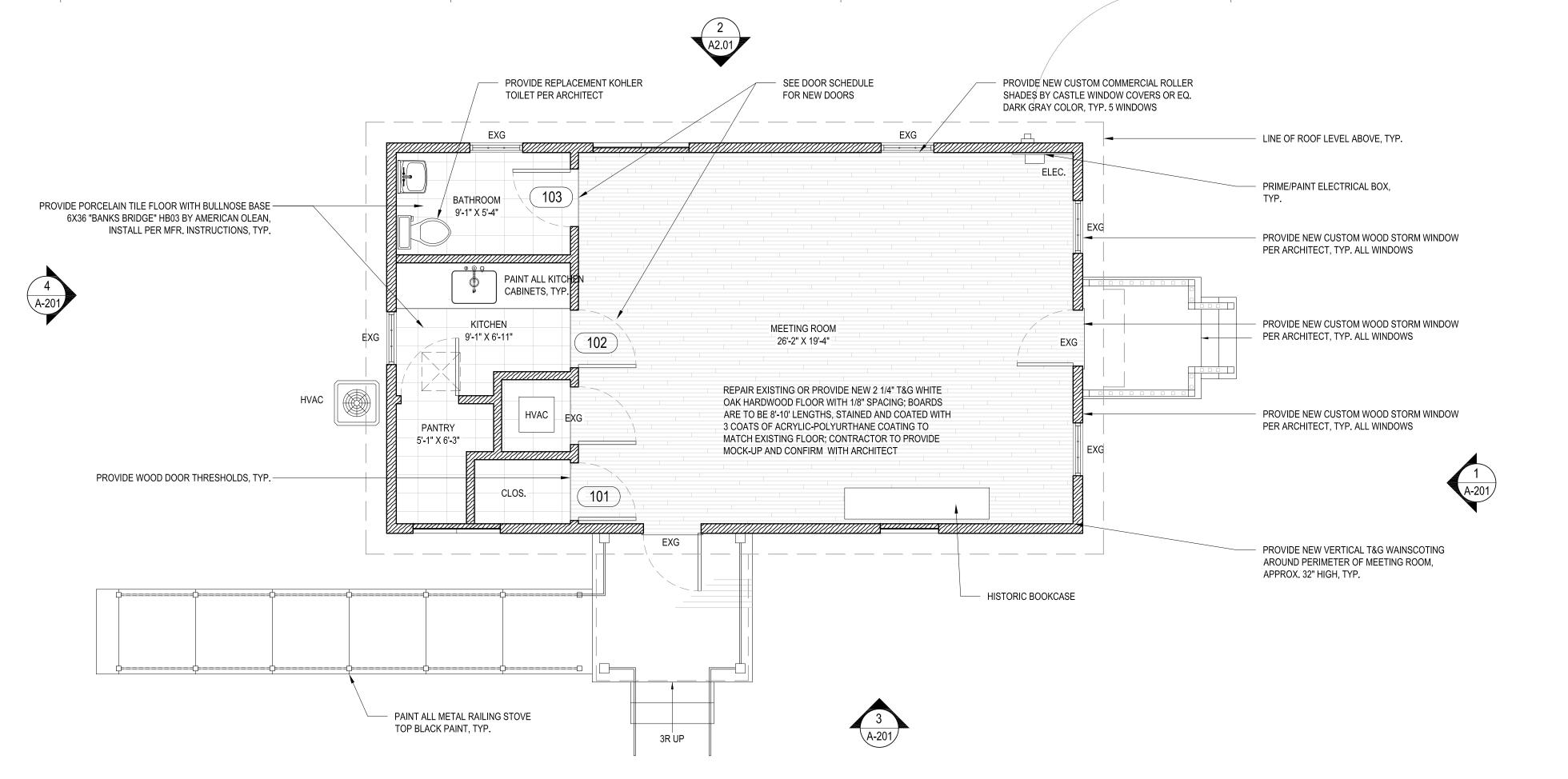
BUILDING DURING DEMOLITION OF INDICATED AREAS.

TAKE SPECIAL CARE TO PREVENT DIRT, DUST AND CONSTRUCTION DEBRIS FROM ENTERING OTHER AREAS OF THE BUILDING. DOORS TO AREAS OUTSIDE THE SCOPE OF WORK SHALL

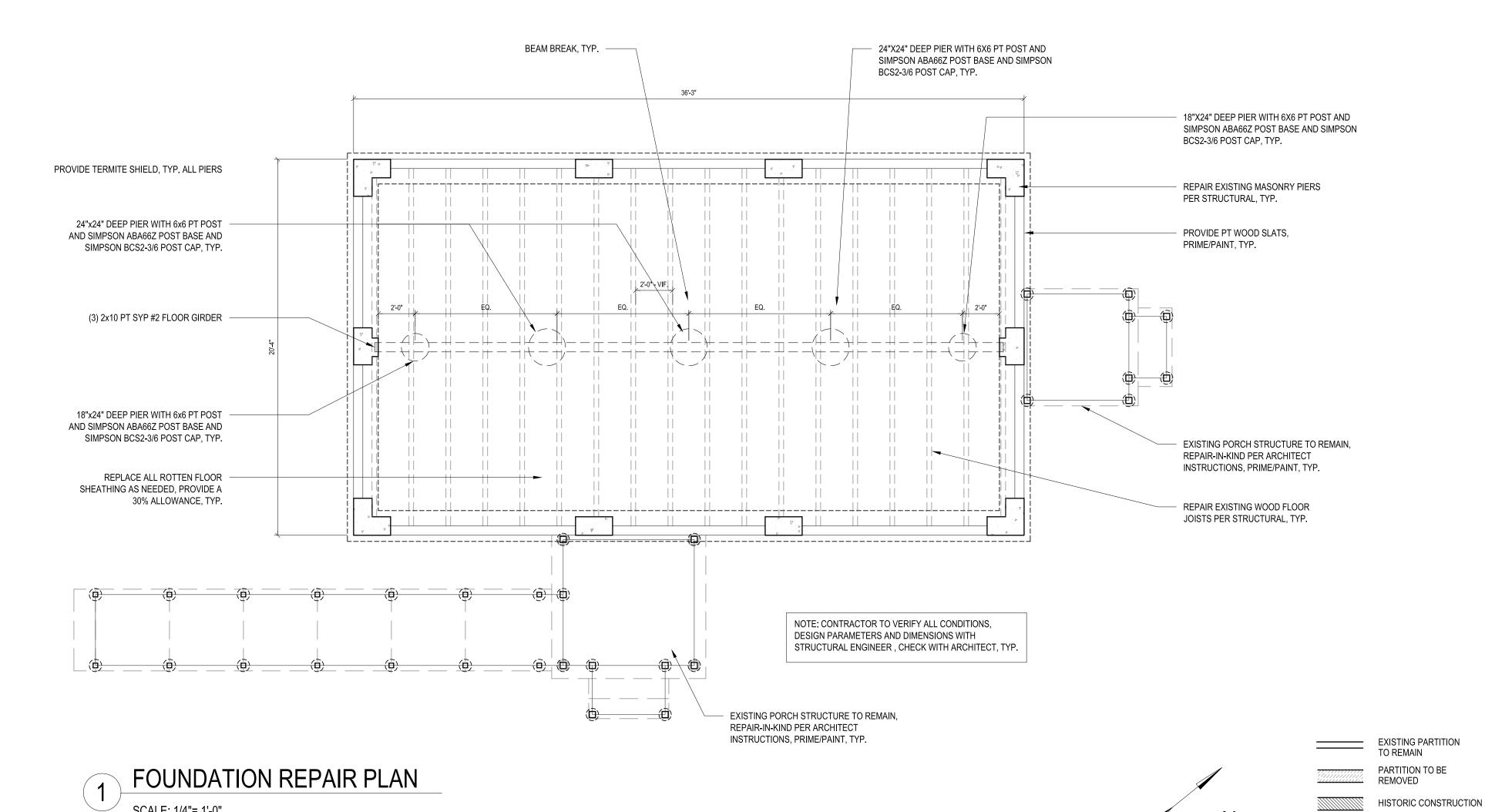
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7. KEEP WORK CLEAN ON A DAILY BASIS. ALL DEBRIS SHALL BE PUT IN A CONTAINER AT DAY'S

8. CONSULT WITH OWNER PRIOR TO DISCARDING ANY EXISTING FIXTURES, HARDWARE OR OTHER ITEMS THAT THE OWNER MAY WISH TO RE-USE.



2 FIRST FLOOR REPAIR PLAN SCALE: 1/4"= 1'-0"



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BY USE OF THESE DRAWINGS, OWNER AND CONTRACTOR ACKNOWLEDGE THAT THE DRAWINGS AND PROJECT MANUAL CONTENTS ARE CONSISTENT WITH THE SCOPE OF WORK PROVIDED FOR THIS PROJECT. THE OWNER AND CONTRACTOR CERTIFY THAT ANY AND ALL DEFECTS, ERRORS INCONSISTENCIES OR OMISSIONS IN THE DRAWINGS OR SPECIFICATIONS OR MATERIAL SUPPLIER HAVIBEN NOTED AND BROUGHT TO THE ARCHITECTS ATTENTION. OWNER AND CONTRACTOR CRAMPS SEARCH STREND AND ENOUGH TO THE ARCHITECTS ATTENTION. OWNER AND CONTRACTOR CREATER AND AFFIRM THAT NO CLAIMS SHALL BE MADE AGAINST BARTON ROSS & PARTNERS, LLC

REPRESENTATION OF THE SCOPE OF WORK DOCUMENTED HEREIN.

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ISSUES:

- 06.27.2025 ISSUE FOR OWNER REVIEW

NO. DATE DESCRIPTION

LOCATION MAP (NTS)

MAP 0203 GRID 0003 PARCEL 0859



PLAN NORTH

PROJECT:

Hearse House
Historic Rehabilitation

DRAWING TITLE:

FLOOR PLANS

SEAL & SIGNATURE

NEW 2x CONSTRUCTION

PROJECT NO.: 24-3404.01
SCALE: AS NOTED
DWG. BY: MD
CHK BY: BR
DWG NO.:

A1.01.00

PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR
APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT
UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE
NUMBER 17587, EXPIRATION DATE 01-06-2026.

d. COMPRESSION PARALLEL TO GRAIN

Fc = 1,650 psi

a. STRESS IN EXTREME FIBER IN BENDING Fb = 2,400psi b. HORIZONTAL SHEAR Fv = 95 psi c. COMPRESSION PERPENDICULAR TO GRAIN Fc = 455 psi

e. MODULUS OF ELASTICITY E = 1,900,000 psi THE LUMBER AND ALL FASTENINGS SHALL CONFORM TO THE "NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENINGS" BY THE NATIONAL LUMBER MANUFACTURERS ASSOCIATION. CONTRACTOR SHALL BE RESPONSIBLE TO CONSULT WITH ARCHITECT AND RECEIVE APPROVAL FOR ALL ENGINEERED LUMBER SUBSTITUTIONS. CONTRACTOR SHALL INSPECT LUMBER BEFORE INSTALLATION TO CHECK FOR DEFECTS. GAPS AND SPACES BETWEEN ALL STRUCTURAL MEMBERS SHALL NOT BE ALLOWED. ALL JOIST JOIST MEMBERS ARE TO BE INSTALLED CROWN SIDE UP

MECHANICAL NOTES

 MECHANICAL CONTRACTOR IS TO INSURE THAT ALL WORK AND SERVICES CONFORM TO ALL APPLICABLE CODES AND ORDINANCES. HVAC CONTRACTOR TO SUPPLY SHOP DRAWINGS AND DETERMINE CFM REQUIRED TO MEET DESIGN CRITERIA AS PER HVAC PLANS.

2. ALL MATERIALS, EQUIPMENT, AND CONTROLS SHALL BE SUBMITTED TO MECHANICAL CONSULTANT/ OR ARCHITECT FOR APPROVAL. FAILURE TO COMPLY SHALL VOID ALL PURCHASES OF EQUIPMENT AND SHALL NOT BE THE RESPONSIBILITY OF THE OWNER.

3. CONTRACTOR TO PROVIDE MULTI-ZONE CENTRAL HVAC SYSTEM WITH CENTRAL RETURNS, INDIVIDUAL RETURNS IN BEDROOMS AND PROGRAMMABLE THERMOSTATS.

4. INSTALL NEW GAS AND ELECTRIC FIRED HVAC UNITS AS MANUFACTURED BY TRANE, LENOX OR CARRIER WITH ELECTRONIC PROGAMMABLE THERMOSTATS, A PRILAIRE (MODEL AS REQUIRED, EXCLUDE HUMIDIFIER IN ALL ATTIC SPACES) POWER HUMIDIFIER AND SPACE-GARD MODEL 2200 AIR CLEANERS (LEAVE TWO SPARE AIR CLEANER FILTERS ON SITE FOR OWNERS FUTURE USE). UNITS IN ATTIC SPACES AND CRAWL SPACES SHALL BE HORIZONTAL UNITS.

5. PERFORMANCE / EFFICIENCY REQUIREMENTS:

DEGREES F AMBIENT TEMPERATURE.

HEATING SYSTEM MUST MAINTAIN INTERIOR TEMPERATURE OF: 70 DEGREES F AT 0 DEGREES F AMBIENT TEMPERATURE. COOLING SYSTEM MUST MAINTAIN INTERIOR TEMPERATURE OF: 75 DEGREES F AT 95

6. MATERIALS: DUCTWORK SHALL BE CONSTRUCTED SO AS TO CONFORM TO SMACNA.

7. ALL HVAC DUCT TAPE FOR BOTH RIDGID AND FLEXIBLE DUCTWORK SEALING SHALL BE 2 1/2" WIDE NASHUA 324A CONFORMING TO U.L.181A-P (NASHUA 800.248.7659) NO OR EQUALS. SEAL ALL JOINTS AND CORNERS, INCLUDING PREFABRICATED JOINTS AND LONGITUDINAL SEAMS.

8. G.C. TO FURNISH AND INSTALL DUCTWORK AS REQUIRED, TO EXTERIOR, FOR EXHAUST FANS.

9. G.C. TO FURNISH AND INSTALL INSULATED (M IN R-6) DUCTWORK, AS REQUIRED, TO EXTERIOR, FOR BATHROOM EXHAUST FANS.

10. ALL DUCTS IN THE OUTSIDE WALLS AND UNCONDITIONED AREAS SHALL BE INSULATED WITH 1" THICK FIBERGLASS WRAP WITH VAPOR BARRIER.

ELECTRICAL NOTES

1. ALL WIRING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE (NEC) IN EFFECT AND ALL APPLICABLE STATE AND LOCAL CODES.

2. WIRING LAYOUT IS SCHEMATIC IN NATURE. ACTUAL WIRING TO BE DETERMINED ON SITE BY QUALIFIED, LICENSED ELECTRICIAN FOLLOWING THE INTENT OF THE DRAWINGS.

3. MINIMUM WIRE SIZE SHALL BE #12 AWG CU. UNLESS OTHERWISE SPECIFIED.

4. MANUFACTURERS SHOWN OR SPECIFIED ARE INTENDED TO IDENTIFY QUALITY AND TYPE OF FIXTURES AND MATERIALS, EQUIVALENT UNITS MAY BE USED UNLESS OTHERWISE NOTED, WITH PRIOR APPROVAL OF THE ARCHITECT AND ENGINEER.

5. ALL LOADS SHALL BE BALANCED EVENLY.

6. ALL CIRCUITS TO BE IDENTIFIED CLEARLY AND IN A PERMANENT FASHION AT THE PANELS.

7. VERIFY FINAL BUILDING DESIGN, PARTITIONS, DOORS, EQUIPMENT REQUIREMENTS AND LAYOUT, ETC., BEFORE STARTING WORK.

8. RUN EXPOSED WIRING ONLY WITH PRIOR APPROVAL OF THE ARCHITECT AND ENGINEER.

9. WHERE LONG WIRE RUNS ARE REQUIRED, INSURE LESS THAN 3% VOLTAGE DROP UNDER FULL LOAD, UPSIZE WIRE SIZE ON RUNS OVER 100 FEET.

10. GENERALLY, WIRING MAY BE NM-B CABLE AS ALLOWED BY CODE, WIRING UNDERSLAB UNDERGROUND IN OR THROUGH MASONRY SHALL BE IN RIGID STEEL, IMC OR SCHEDULE 80 PVC (ELECTRICAL). EXPOSED EXTERIOR WIRING SHALL BE IN RIGID STEEL INTERIOR WIRING MAY BE IN NM-B. CONNECTIONS TO EQUIPMENT SHALL BE IN MC OR GREENFIELD FOR INTERIOR WORK

AND IN LIQUIDTITE FOR EXTERIOR CONNECTIONS AND IN WET OR CORROSIVE ENVIRONMENTS.

11. E.C. SHALL PROVIDE AND INSURE FIREPROOFING OF ALL CONDUIT, CABLING, ANY OTHER ELECTRICAL DEVICES THROUGH FIRE RATED ASSEMBLIES.

12. ALL BOXES SHALL BE STEEL.

13. HARDWIRE FOR SMOKE DETECTORS IN EXISTING PORTIONS OF THE HOUSE AS REQUIRED BY CODE.

14. DETERMINE EXACT LOCATION OF SWITCHES, OUTLETS, AND FIXTURES ON-SITE WITH OWNER OR ARCHITECT PRIOR TO INSTALLATION.

15. PROVIDE THERMAL/MAGNETIC CIRCUIT BREAKERS WITH HACR BREAKERS FOR HVAC EQUIP.

16. LIGHT FIXTURES SHALL BE SECURELY FASTENED TO STRUCTURAL BUILDING MEMBERS.

17. COORDINATE EXACT POWER CONNECTION REQUIREMENTS & LOCATIONS ON SITE WITH EQUIPMENT SUPPLIER.

18. PROVIDE PULL STRINGS IN ALL CONDUIT SYSTEMS LEFT FOR USE BY OTHERS (PHONE, CATV, ETC.).

19. ALL FIXTURE AND DEVICE MOUNTING HEIGHTS SHALL CONFORM WITH ADA ACCESSIBILITY GUIDELINES. INSTALL SWITCHES @ 48" A.F.F. U.O.N. INSTALL OUTLETS @ 18" A.F.F. OR 6" ABOVE COUNTERS U.O.N.

PLUMBING NOTES

1. ALL WORK SHALL CONFORM TO THE NATIONAL STANDARD PLUMBING CODE AND APPLICABLE REQUIREMENTS OF ANY LOCAL CODES HAVING JURISDICTION.

2. CONTRACTOR TO VERIFY ADEQUACY OF EXISTING/NEW SYSTEM AS DESIGNED TO SATISFY DESIGN CRITERIA.

3. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NEW PLUMBING FIXTURES AS SHOWN ON

4. THE CONTRACTOR SHALL PROVIDE ALL SHUT-OFF VALVES AS REQUIRED BY CODE AND PLACE IN AN ACCESSIBLE LOCATION FOR SERVICE NEEDS.

5. ALL WASTE AND VENT PIPE SHALL BE P.V.C. AND VENT PENETRATIONS SHALL BE COPPER: ALL WATER RISERS SHALL BE 1" COPPER WITH 1/2' COPPER SUPPLIES (3/4" SUPPLY FOR SHOWERS). ALL GAS PIPING SHALL BE BLACK PIPE OR TRAC PIPE. SIZE AS REQ'D. - PROVIDE ALTERNATE PRICE FOR PEX PIPING.

GENERAL NOTE:

- 1. CM TO COORDINATE WORK ASSOCIATED WITH UNDERGROUND LEADERS AND REROUTING SCUPPERS AND LEADERS WITH THE OWNER.
- REFER TO ELECTRICAL DRAWINGS FOR SPECIFIC
- INFORMATION AND LAYOUT. REFER TO MECHANICAL DRAWINGS FOR SPECIFIC
- INFORMATION AND LAYOUT. CLEAN AND COAT ALL EXPOSED STEEL LINTEL SURFACES AT EVERY WINDOW AND DOOR, TYP.



GENERAL ELECTRICAL NOTES:

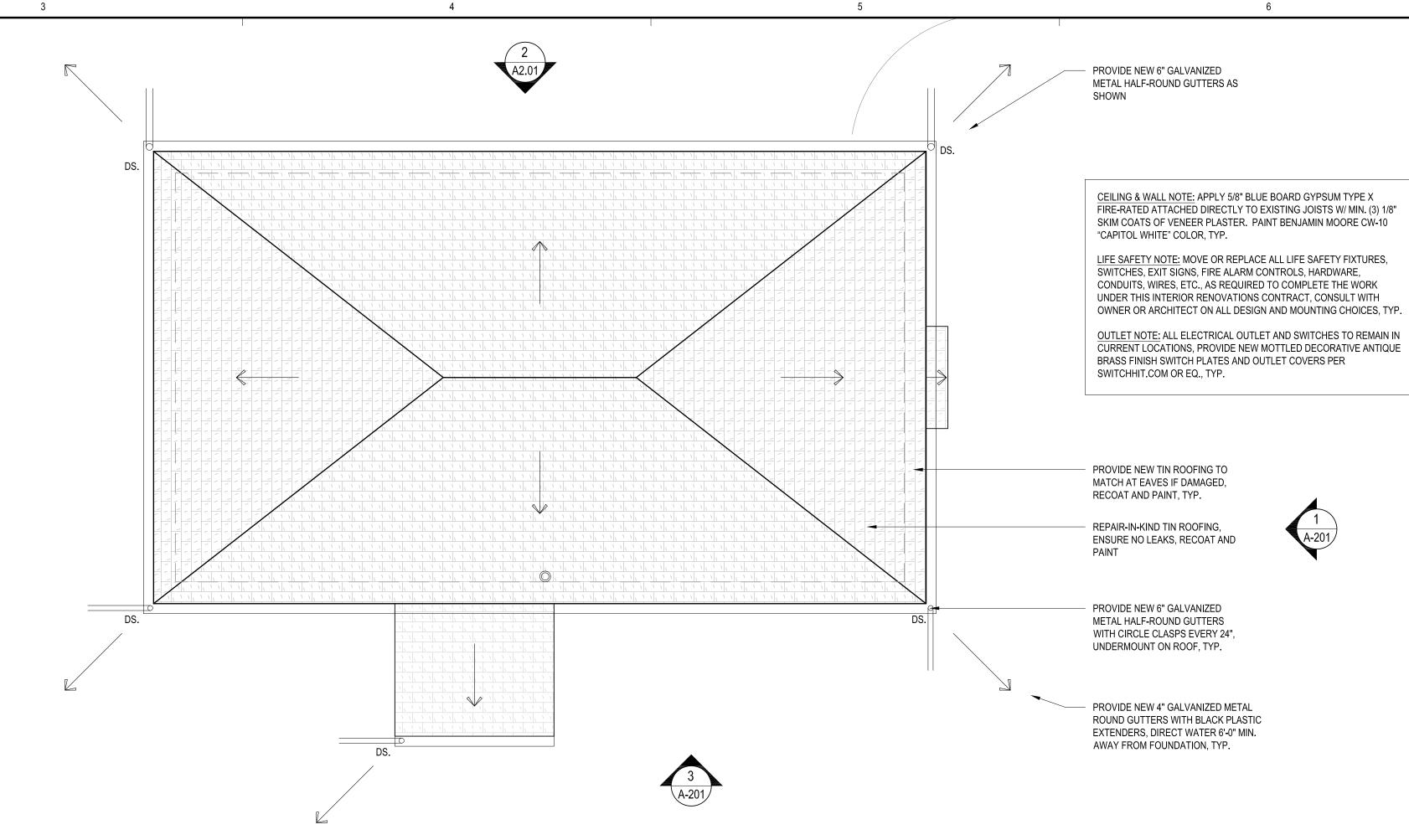
. ALL OUTLETS TO BE MOUNTED HORIZONTALLY IN CLOSETS OR IN FLOORING ONLY. REFER TO ARCHITECT. WHERE POSSIBLE, CENTER DEVICES HORIZONTALLY ON

WALL TO BE CONCEALED BY FURNITURE. ALL OUTLETS AND SWITCHES TO HAVE DECORATIVE

DEVICE COVERS AND COVER PLATES PER ARCHITECT. 4. OUTLET SWITCHES OR LIGHT FIXTURES ON EITHER SIDE OF DEMISING WALL SHALL NOT BE IN SAME STUD

CAVITY, TYP. 5. CENTER ALL FIXTURES WITHIN ROOMS OR SPACES UNLESS DIMENSIONED OR NOTED OTHERWISE, VERIFY ALL FINAL PLACEMENTS IN THE FIELD WITH THE ARCHITECT, TYP.

NON-METALLIC / ROMEX CAN BE SUBSTITUTED FOR METAL CLAD CONDUIT PER OWNER. CIRCUITS SERVING LIGHTING-ONLY ARE ALLOWED TO BE 15 AMP/14 GA.

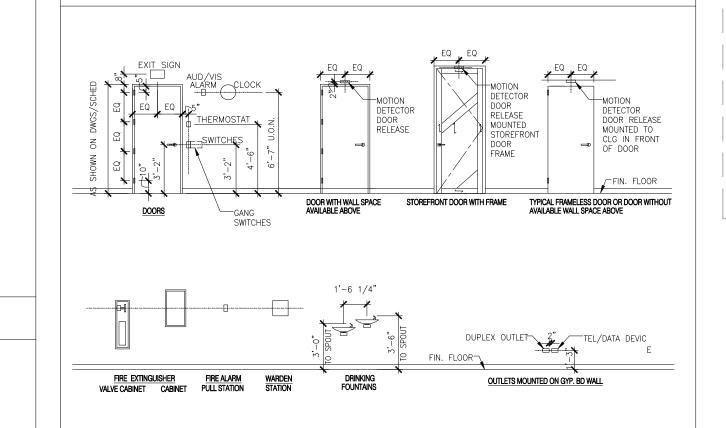


ELEC. / LIGHTING LEGEND

OUTLETS		RECESSED LIGHT FIXTURES		EQUIPMEN	EQUIPMENT	
⇒ ⇒ GFI ⇒	DUPLEX QUADRUPLEX GROUND FAULT PROTECTED	® \$H E	RECESSED DOWNLIGHT WATERPROOF DOWNLIGHT RECESSED EXHAUST FAN		CABLE TV TELEPHONE DATA	
	\ SWITCHED OUTLET APPLIANCE OUTLET			(\$)	SMOKE DETECTOR,	
→ WP	WEATHERPROOF EXTERIOR				HARD-WIRED WITH BATTERY BACK-UP	

SURFACE MOUNTED LIGHTS			SWITCHES		
	SCONCE	$\vdash \times \times \vdash$	TRACK LIGHTING	S	SINGLE
		<u></u>		S_3	3-WAY
\ \frac{1}{2}	CEILING FIXTURE		TUBE FLUORESCENT	S_{D}	DIMMER
•	PENDANT FIXTURE	P	PICTURE LIGHT	S_{3D}	3-WAY DIMMER
⊢	WALL WASHER		UNDER-CABINET LIGHT	В	DOOR BELL
				+	THERMOSTAT

TYPICAL MOUNTING HEIGHTS



INTERIOR LIGHTING FIXTURE SCHEDULE (N.T.S.) LOCATION MOUNTING DESCRIPTION TYPE | QTY | WATTAGE | MANUFACTURER | MODEL# MFR. EM., SOME DOUBLE-SIDED, HEIGHT & HYLINE SAFETY CO. EMERGENCY EXIT SIGN WITH INTEGRAL BATTERY PACK, BLACK SYSTEM CONTROL WALLS WALL OR PENDANT ARROWS TO BE CONFIRMED BY --700mAH NYCA-ABR OR EQUAL FINISH, RED LETTERS, UNIVERSAL KNOCK-OUT CHEVRONS OR CORRIDORS ARCHITECT

75

JONATHAN Y

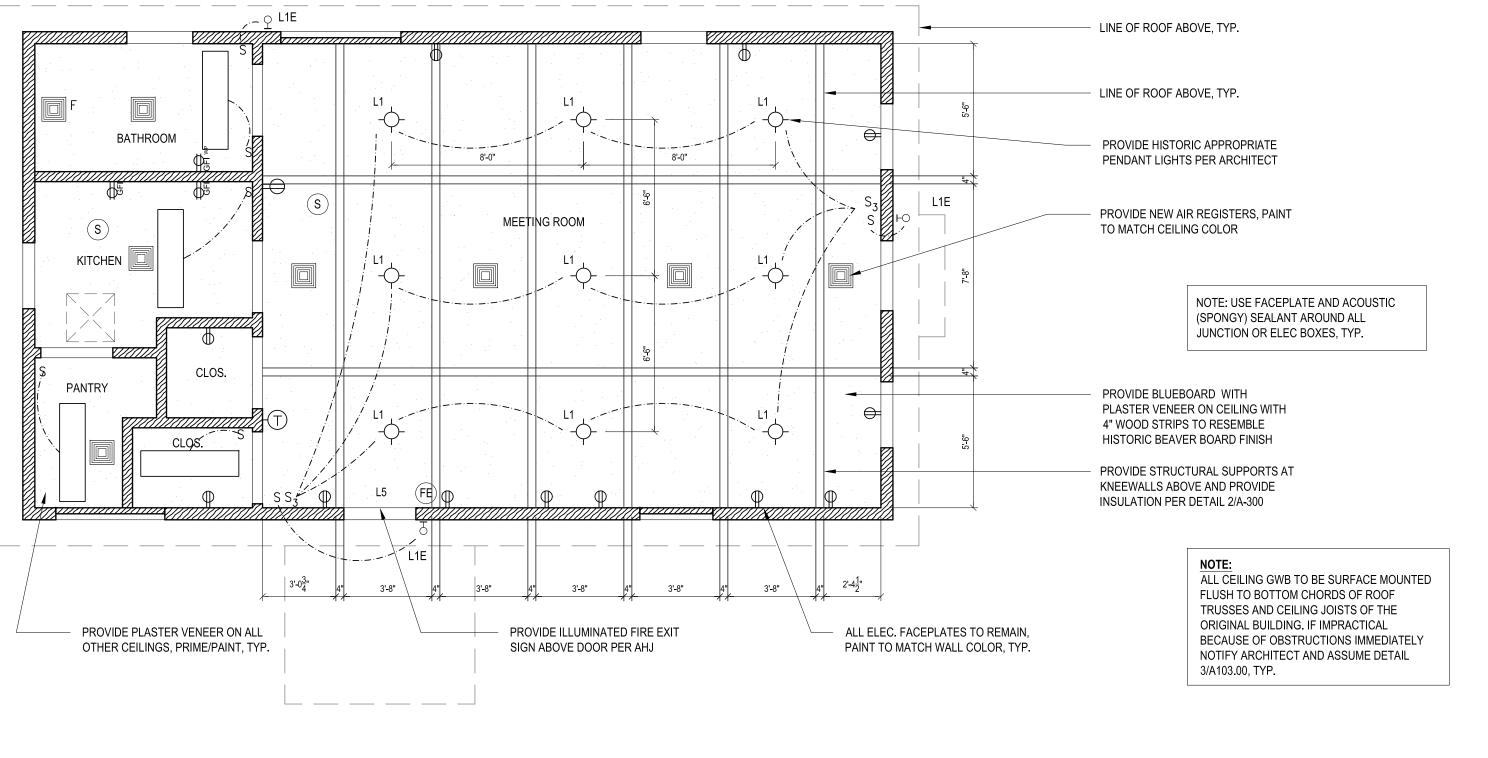
JYL3517C KURTZ 9.5" ADJUSTABLE DROP METAL/GLASS LED

PENDANT DIMMABLE, OIL RUBBED BRONZE

* REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR MOUNTING HEIGHTS AND LOCATIONS OF EMERGENCY FIXTURES WITH BATTERY PACKS.

CEILING MOUNT

MUSEUM / CLASSROOM





NOTE: LOCATE SMOKE/CARBON MONOXIDE DETECTORS IN EVERY PUBLIC SPACE PER ARCHITECT. DETECTORS MUST BE HARD-WIRED WITH BATTERY BACKUP.



EXISTING PARTITION TO REMAIN PARTITION TO BE REMOVED HISTORIC CONSTRUCTION

SEE RCP DRAWINGS FOR PLACEMENT

ARCHITECT TO VERIFY IN FIELD, TYP.

NEW 2x CONSTRUCTION

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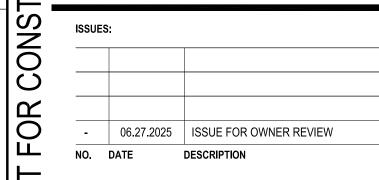
Silcox Engineering & Drafting, Inc. Jay Silcox, PE 312 Park Row, Ste. B Chestertown, MD 21620

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LOCATION MAP (NTS) MAP 0203 GRID 0003 PARCEL 0859



PLAN NORTH NORTH \

PROJECT:

Hearse House Historic Rehabilitation

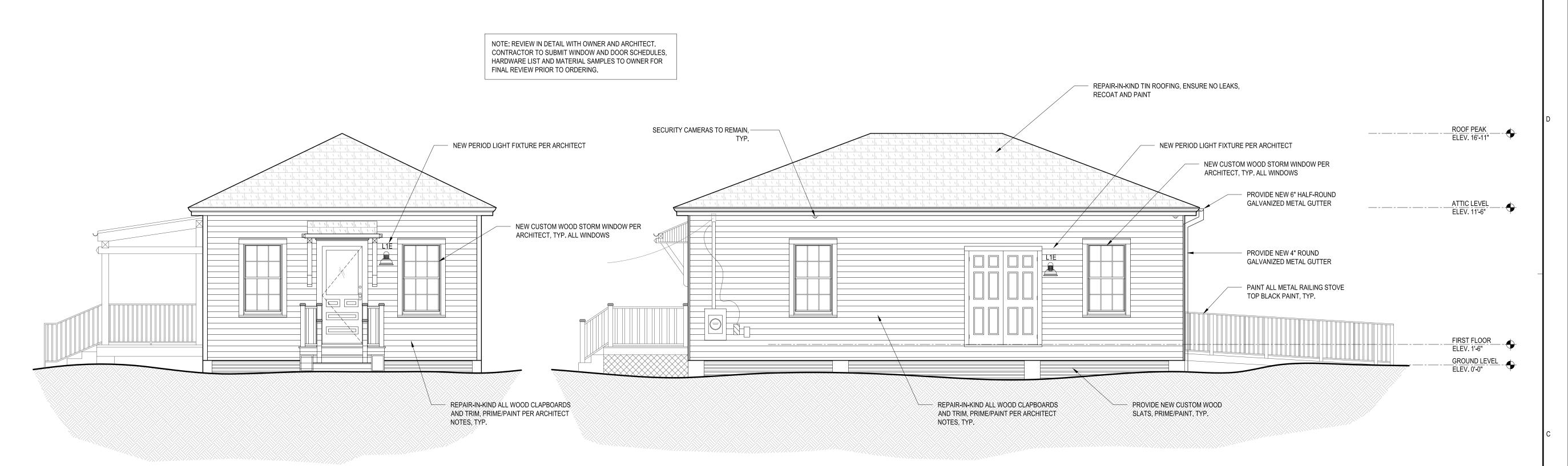
DRAWING TITLE:

FLOOR AND ROOF PLANS

SEAL & SIGNATURE

PROJECT NO.: 24-3404.01 AS NOTED

PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE



1 FRONT (NORTHEAST) FACADE ELEVATION SCALE: 1/4"= 1'-0"

RIGHT (NORTHWEST) FACADE ELEVATION

EXTERIOR LIGHT SCHEDULE

SYMBOL TYPE LOCATION MOUNTING DESCRIPTION

LAMP
QUANTITY TYPE WATTAGE MFR. MODEL # REMARKS

L1E ENTRANCES SURFACE CABOOSE OUTDOOR LIGHT - LARGE; 4.75" BACKPLATE.
(14.5" HIGH X 10.25 WIDE X, 11.5 DEEP); MEDIUM BASE SOCKET; WET LOCATION; WEATHERED BRONZE FINISH

3 INCANDESCENT 150 SHADES OF LIGHT

COORDINATE WITH ARCHITECT FOR MOUNTING HEIGHTS

GUTTER NOTE: ALL GUTTERS TO BE GALVANIZED OR COPPER 6" HALF-ROUND WITH 4" ROUND LEADERS DIRECTED TO A SUBTERRANEAN DRAIN; CONTRACTOR TO USE 6" SCHEDULE 40 PVC FOR DRAIN; CONNECT TO TOWN STORMWATER SYSTEM, TYP.

WINDOW NOTE: ALL WINDOWS TO MATCH EXISTING OR RECUSTOM WOOD CLAD UNITS WITH 1" MUNTING ALL

WINDOW NOTE: ALL WINDOWS TO MATCH EXISTING OR BE CUSTOM WOOD CLAD UNITS WITH 1" MUNTINS. ALL "EGRESS" LABELED WINDOWS SHALL MEET EGRESS REQUIREMENTS. TEMPERED GLASS SHALL BE PROVIDED ON ALL WINDOWS FACING TUBS, JACUZZIS, OR ANY WINDOW WITH SILL HEIGHTS LESS THAN 18". ALL HEADERS SHOULD BE (2) 2X10s, TYPICAL.

NOTE: EXTERIOR CLAPBOARDS TO BE PAINTED BENJAMIN MOORE CW-375 "TAVERN OCHRE", EXTERIOR WINDOW SASH, RAILINGS, COLUMNS & ALL EXTERIOR TRIM TO BE PAINTED BENJAMIN MOORE CW-10 "CAPITOL WHITE"

ALL INTERIOR WALL SURFACES TO BE PAINTED BENJAMIN MOORE CW-95 "LIME WHITE"; DOORS, BASEBOARDS, TRIM, AND WAINSCOTING TO BE PAINTED BENJAMIN MOORE CW-170 "TARPLEY BROWN"

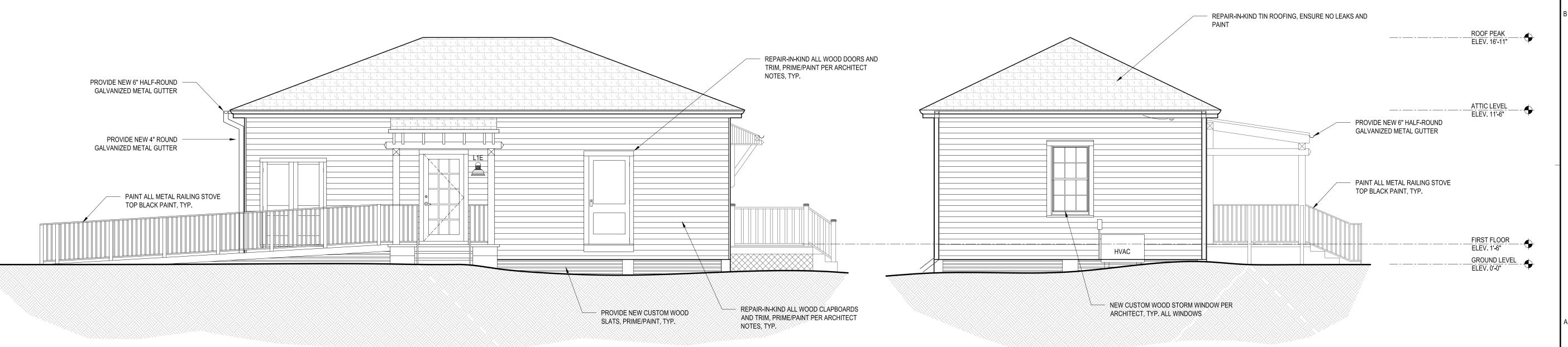
PROTECT ROOF DURING ALL WORK. PRIME + (2) FINISH COATS OF PAINT, TYP. FOR

FINISH NAILING USE REPRODUCTION CUT NAILS FROM TREMONT NAIL COMPANY, WAREHAM, MA - COORDINATE FINISH WORK WITH ARCHITECT.

ALL COLORS ARE APPROVED EQUAL WITH MFR. OR SUPPLIER AS AVAILABLE. VERIFY

ALL FINAL PAINT COLORS WITH ARCHITECT BEFORE ORDERING, TYP.

NOTE: WOOD SIDING TO BE REPAIRED-IN-KIND, FIRST HAND SCAPE CLEAN, FILL HOLES WITH WEST SYSTEM EPOXY OR WOOD PUTTY, SAND UNTIL SMOOTH SURFACE. USE OIL BASED PRIMER. THEN USE SHERWIN WILLIAMS PEEL/BOND PRIMER AT LEAST (2) COATS FOLLOWED BY MIN. THREE (3) COATS OF FINISH PAINT, TYP. FOR FINISH NAILING USE REPRODUCTION NAILS FROM TREMONT NAIL COMPANY, WAREHAM, MA - OR COORDINATE FINISH WORK WITH ARCHITECT. ALL FINAL PAINT COLORS BY OWNER.



3 LEFT (SOUTHEAST) FACADE ELEVATION

SCAL F: 1/4"= 1'-0"

4 REAR (SOUTHWEST) FACADE ELEVATION

SCALE: 1/4"= 1'-0"

Barton Ross & Partners LLC Architects

Architects

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ISSUES:

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NO. DATE DESCRIPTION

LOCATION MAP (NTS) MAP 0203 GRID 0003 PARCEL 0859



PLAN NORTH TRUE NORTH

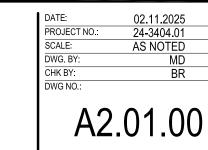
PROJECT:

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Historic Rehabilitation

DRAWING TITLE:

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SEAL & SIGNATURE



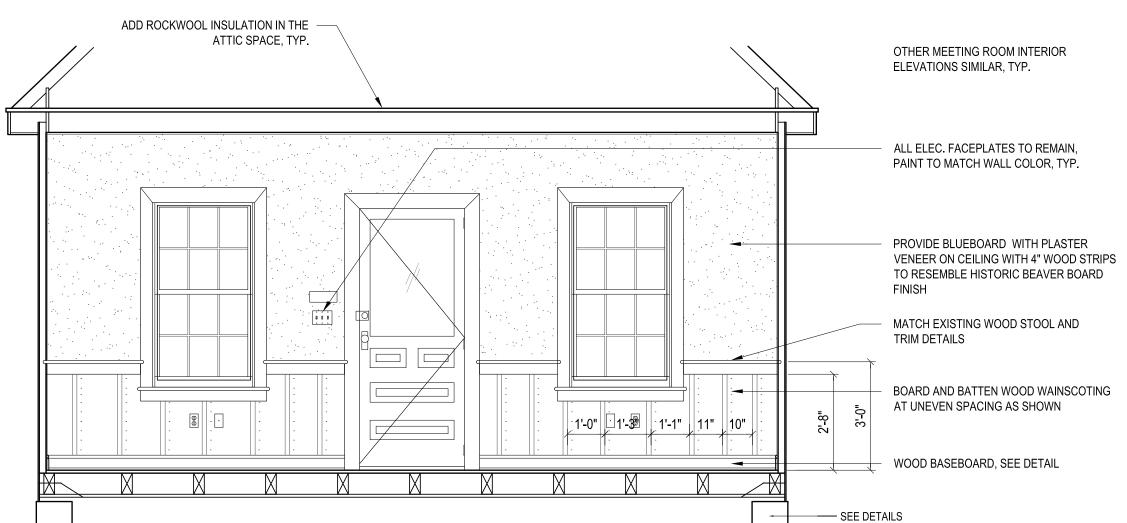
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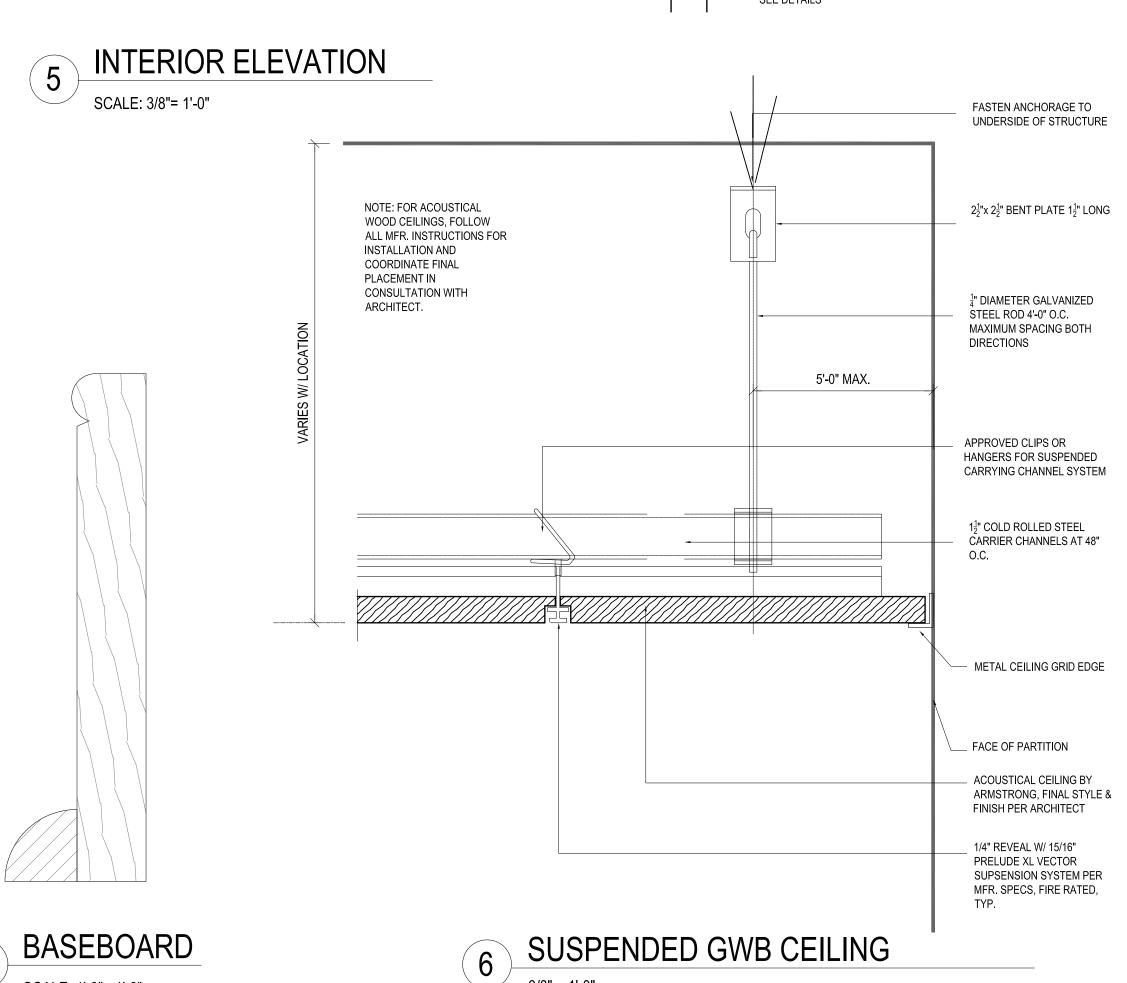
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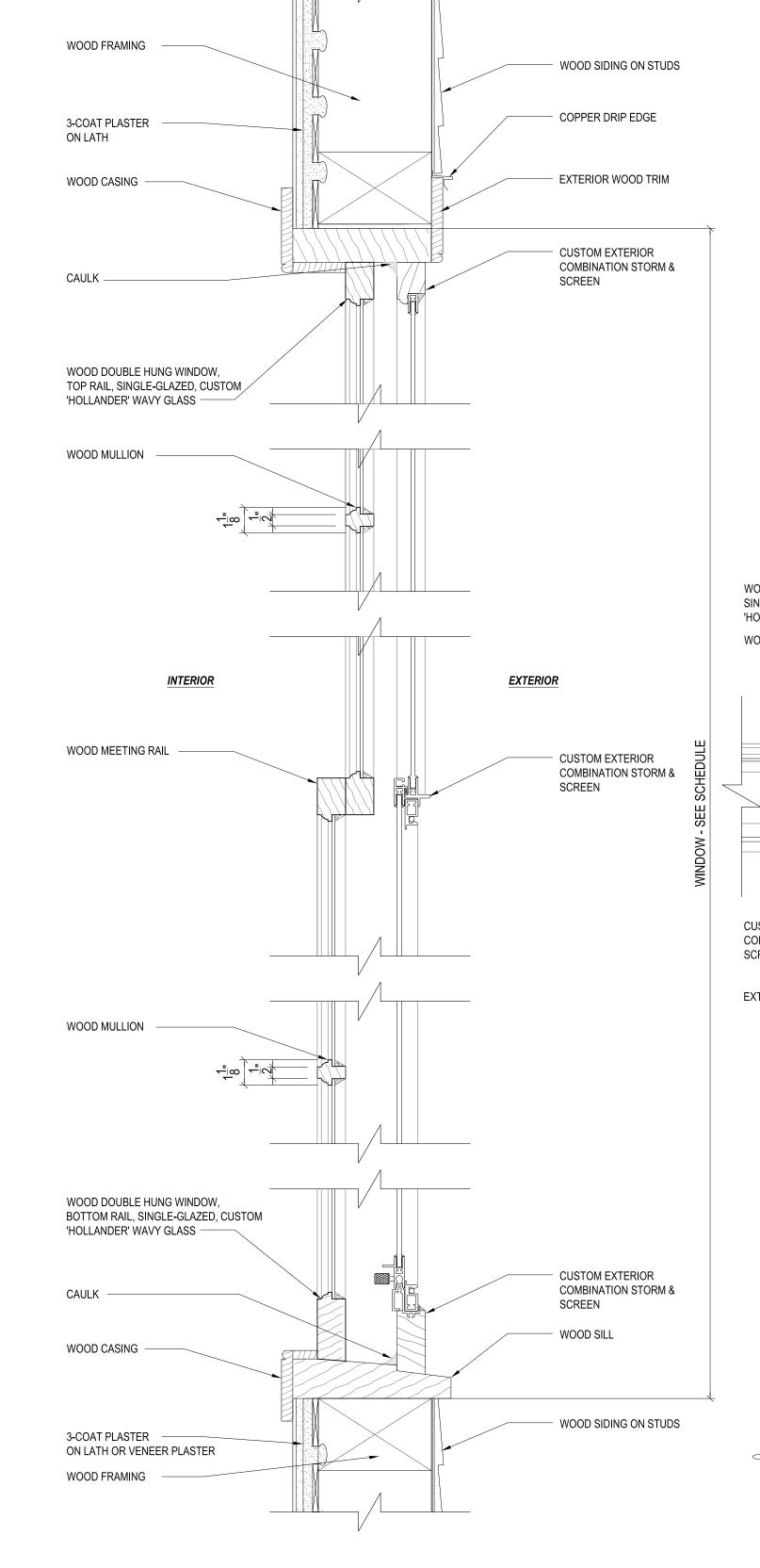
- 1. VERIFY ALL DIMENSIONS IN FIELD BEFORE ORDERING OR FABRICATION. SUBMIT SHOP DRAWINGS & CUT SHEETS TO ARCHITECT. 2. ALL EXISTING INTERIOR AND EXTERIOR CASING TRIM TO REMAIN OR BE REPLICATED FROM EXISTING EXAMPLES PER ARCHITECT INSTRUCTIONS. 3. ALL EXPOSED / FINISHED WOOD TO BE PRIMED U.N.O. WITH TWO LAYERS OF FIELD APPLIED PAINT, COLOR PER ARCHITECT, TYP.
- 4. EASE ALL EXPOSED CORNERS AND EDGES OF FINISH MILLWORK.

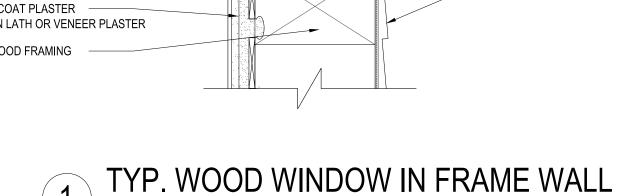
DOOR NOTES:

- 1. ALL DOOR ASSEMBLIES SHALL COMPLY WITH ALL APPLICABLE CODES, PERMIT REQUIREMENTS & MANUFACTURER RECOMMENDATIONS. ASSUME SOLID WOOD CORE CONSTRUCTION.
- FINAL CUSTOM CRAFTSMAN MANUFACTURER TO BE DETERMINED IN CONSULTATION WITH ARCHITECT & OWNER. 2. ALL WINDOWS & DOORS SHALL BE #1 SOUTHERN YELLOW PINE FREE OF KNOTS AND DEFECTS & CAREFULLY TAPERSAWN.
- 3. FRAMES SHALL BE FACTORY PRIMED SOLID OAK. FINAL 2X COATS PAINT COLOR TO BE DETERMINED BY ARCHITECT & OWNER.
- 4. THE EXTERIOR CASINGS, SILLS, SADDLES, MOLDINGS, ETC. SHALL MATCH THE EXISTING OR HISTORIC PROFILES IN CONSULTATION WITH ARCHITECT & OWNER.
- 5. STORMS AND SCREENS SHALL NOT BE INCLUDED.
- 6. ALL HARDWARE TO BE IN CONSULTATION WITH ARCHITECT & OWNER. FINAL HARDWARE SPECIFICATIONS TO BE DETERMINED BY ARCHITECT AND OWNER FOLLOWING REVIEW OF SHOP DRAWINGS AND MFR. CUT SHEET SUBMISSIONS IN ACCORDANCE WITH APPLICABLE BARRIER FREE AALL OTHER HARDWARE TO BE OIL-RUBBED BRONZE FINISH IN CONSULTATION WITH ARCHITECT. INCLUDES LOCKSETS. FINAL HARDWARE SPECIFICATIONS TO BE DETERMINED BY ARCHITECT AT A LATER DATE. PROVIDE ALLOWANCE FOR HISTORIC REPRODUCTIONS IN ACCORDANCE WITH BARRIER FREE ND LOCAL BUILDING CODE REQUIREMENTS.

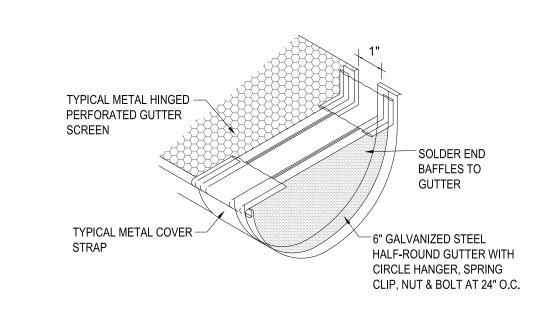




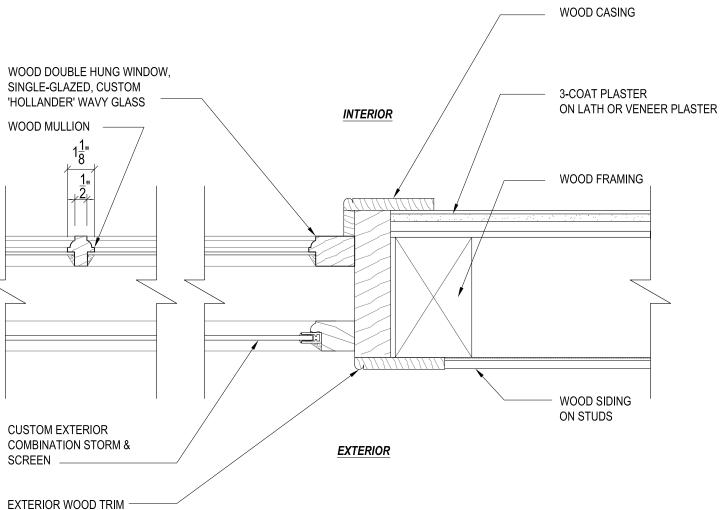


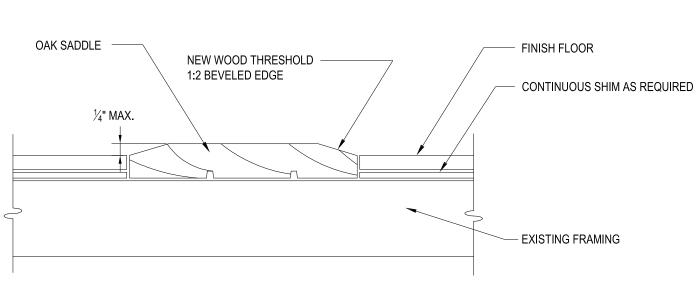


NOTE: ALTERNATIVE PER ARCHITECT TO GAIN HEIGHT IS TO ATTACH GWB DIRECTLY TO UNDERSIDE OF JOISTS IF NO OBSTRUCTIONS OR WIRING INTERFERES WITH FINAL PLACEMENT. VIF.









INTERIOR DOOR SADDLE SCALE: 6"= 1'-0"

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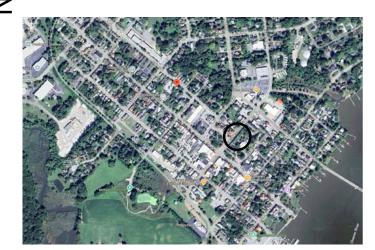
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STRUCTURAL

06.27.2025 ISSUE FOR OWNER REVIEW NO. DATE DESCRIPTION

LOCATION MAP (NTS) MAP 0203 GRID 0003 PARCEL 0859



PLAN NORTH

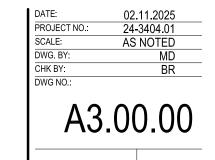
PROJECT:

Hearse House Historic Rehabilitation

DRAWING TITLE:

DETAILS & SCHEDULES

SEAL & SIGNATURE



PROFESSIONAL CERTIFICATION: I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 17587, EXPIRATION DATE 01-06-2026.

SCALE: 1'-0"= 1'-0"